

P.O. Box 151652 Arlington, Texas 76015

Metro 972-572-4500

Metro 817-467-0213

www.a-action.com



"We are dedicated to your satisfaction before, during and after the inspection. We offer peace of mind on your piece of the American Dream."

The A-Action Team

Your Home Consultant's For Life

PROPERTY INSPECTION REPORT

Prepared For:	Clients Name Here	г. о
	(Name of C	lient)
Concerning:	Property Address Here	
	(Address or Other Identification	n of Inspected Property)
Ву:	Inspectors Name Here	Date of Inspection
-	(Name and License Number of Inspector)	(Date)
	(Name, License Number and Signature of Sponso	oring Inspector, if required)

The inspection of the property listed above must be performed in compliance with the rules of the Texas Real Estate Commission (TREC).

The inspection is of conditions which are present and visible at the time of the inspection, and all of the equipment is operated in normal modes. The inspector must indicate which items are in need of repair or are not functioning and will report on all applicable items required by TREC rules.

This report is intended to provide you with information concerning the condition of the property at the time of inspection. Please read the report carefully. If any item is unclear, you should request the inspector to provide clarification.

It is recommended that you obtain as much history as is available concerning this property. This historical information may include copies of any seller's disclosures, previous inspection or engineering reports, reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should attempt to determine whether repairs, renovation, remodeling, additions or other such activities have taken place at this property.

Property conditions change with time and use. Since this report is provided for the specific benefit of the client(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

(Continues at the end of this inspection report)

Additional attachments provided by A-Action Home Inspection Group that make this inspection report complete are listed but not limited to the following: Service Contract, Outside the Scope of Inspection and Home Maintenance & Care Guide.

The Client, by accepting the Property Inspection Report, or relying upon it in any way, expressly agrees to the Limitations, Departures and Disclaimers attached at the end of this inspection report.

Please read the report in its entirety. Remember this is a cursory limited visual inspection and does not warrant or guarantee all defects to be found. If you have questions or are unclear regarding our findings, please feel free to call before you buy the property.

This report contains technical information. If you were not present during this inspection, please call the office to arrange for a verbal consultation with your inspector. If you choose not to consult with the inspector, this inspection company cannot be held liable for your understanding or misunderstanding of the reports content.

This inspection report is made for the sole purpose of assisting the purchaser to determine his and/or her own opinion of feasibility of purchasing the inspected property. This report is not intended to be used for determining insurability of the structure and may not conform to the Texas Department of Insurance guidelines for property insurability.

This report is not to be used by or for any property and/or home warranty company.

The digital pictures in this report are a sample of the damages in place and should not be considered to show all of the damages and/or deficiencies found. There will be some damage and/or deficiencies not represented with digital imaging.

Additional pages may be attached to this report. Read them very carefully. This report may not be complete without the attachments. If an item is present in the property but is not inspected, the "NI" column will be checked and an explanation is necessary. Comments may be provided by the inspector whether or not an item is deemed in need of repair.

l=Insp	ected	ted NI=Not Inspected		spected	NP=Not Present	R=Not Functioning or In Need of Repair
I	NI	NP	R		Inspection Item	
V				A. Fou	TURAL SYSTEMS ndations (If all crawl space) nments (An opinion on perion	e areas are not inspected, provide an explanation.)

Slab on Grade

This structure is supported by a concrete slab type foundation. The type of concrete reinforcement was not determined.

Foundation Performance Opinion:

In my opinion, the foundation appears to be providing adequate support for the structure based on a limited visible observation today. At this time, I did not observe any evidence that would indicate the presence of significant deflection in the foundation. There were no notable functional problems resulting from foundation movement. The interior and exterior stress indicators showed little affects of movement and I perceived the foundation to contain no significant unlevelness after walking the 1st level floors. This is a cursory and visual observation of the conditions and circumstances present at the time of this inspection. *Opinions are based on observations made without sophisticated testing procedures. Therefore, the opinions expressed are one of apparent conditions and not absolute fact and are only good for the date and time of this inspection.*

Additional Observation and/or Comments:

• One or more of the foundation perimeter beam corners were observed to be sheared off (corner pop). This is a common condition in slab on grade foundations. This condition does not adversely affect the performance of the foundation. However, in some cases, some cosmetic improvements may be necessary.



Refer to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.

Notice: Watering your foundation is very important in this region. Please refer to the foundation-watering program in the home maintenance guide.

Notice: Highly plastic clay soils, as are typically found in this region, exhibit a great amount of expansion and contraction with varying moisture contents. With this type of expansion and contraction of the soils, slab on grade homes and traditional/modern pier and beams homes will experience some degree of foundation distress. You should expect to see deflection cracks in the exterior brick veneer, sheetrock cracks and floor tile cracks.

_	l=Insp	ected		NI=Not Inspected	NP=Not Present	R=Not Functioning or In Need of Repair
ĺ	ı	NI	NP	R		Inspection Item

Notice: The inspection of the foundation may show it to be functioning as intended or having movement typical to this region, at the time of the inspection. This does not guarantee the future life or failure of the foundation, but is a visual and cursory observation of the conditions and circumstances at the time of the inspection. The Inspector is not a structural engineer. This inspection is not an engineering report, and should not be considered one. If any cause of concern is noted on this report, or if you want further evaluation, you should consider an evaluation by an engineer.

☑ □ □ ☑ B. Grading & Drainage Comments:

Grading & Drainage

- Poor to negative site drainage was observed on the west side of the house. Proper drainage is needed to help prevent water from standing and/or ponding next to the foundation beam. Surface drainage should be diverted to a storm sewer conveyance or other approved point of collection so as to not create a hazard. Lots should be graded so as to drain surface water away from foundation walls. The grade away from foundation walls should fall a minimum of 6 inches within the first 10 feet.
- The soil line is marginally high on the west side of the house. Under current building standards there should be at least 4-inches of foundation visible below masonry veneer and 6inches of foundation visible below wood type veneer.

Gutter & Downspout System

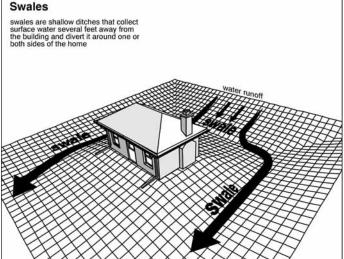
The gutters do not appear to have sufficient slope to drain properly on the west side of the
roof line at and/or around the garage window. If they do not perform as intended, the slope
should be adjusted.





I NI NP R Inspection Item





International Residential Code for One & Two Family Dwellings R401.3 Drainage.

Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection so as to not create a hazard. Lots shall be graded so as to drain surface water away from foundation walls. The grade away from foundation walls shall fall a minimum of 6 inches (152 mm) within the first 10 feet (3048 mm).

l=Inspected			NI=Not In	nspected NP=Not Present		R=Not Functioning or In Need of Repair
I	NI	NP	R	Inspection Item		
			Ø	C. Roof Cove	• ,	inaccessible, report the method used to inspect.)
				Method used to I	nspect Roof:	
				✓ Walked on roo Inspected from	of Inspect on drip edge with lace	ted from ground level lder
				OBSERVATIONS	S:	

Composition Roofing Material in Place

The roofing material has a discoloration that is not typically seen with this type of roofing material. This appears to be a manufacturer's defect that should be further investigated. You are strongly encouraged to contact the roofing material manufacturer to check on possible recalls for this type, make and/or batch of roofing material.

- Roof fasteners (nails and/or staples) observed to be exposed and should be properly sealed at the ridge caps and flashing areas.
- There appears to be a water leak through the roofing material over the guest bedroom. The water leak appears to be in the roof structure valley over the guest bedroom.
- The roof structure roofing material does not appear to be properly fastened in place and the shingles are sliding out of place at the valley over the guest bedroom.





Roofing discoloration

NI NP R Inspection Item





Damaged shingle and shingles sliding out of place.



Water leaking into the attic area from the valley over the guest bedroom.

NI NP R Inspection Item

Flashing(s)

- The flashing needs to be checked, reset and/or repaired as necessary. The observations made to support the rendering of this opinion are listed but may not be limited to:
 - The sidewall flashing is missing counter flashing at the sidewall left of the front entry area and at the sidewall over the east side of the garage.
 - The condition and/or installation of the sidewall flashing is questionable at the sidewall over the master bathroom closet area. The counter flashing details are missing at the sidewall. There is visible evidence of water leakage into the attic space under the sidewall flashing details. This condition should be further evaluated and corrected as necessary.





Flashing details are missing.





Missing counter flashing.

Refer to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.

Notice: Life expectancy of the roofing material is not covered by this property inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a

l=Insp	ected		NI=Not	Inspected NP=Not Present R=Not Functioning or In Need of Repair			
I	NI	NP	R	Inspection Item			
				roofing specialist should be consulted. The Inspector cannot, does not, offer an opinion of warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leaks. Notice: The inspection of this roof may show it to be functioning as intended or in need of minor repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your Insurance Company physically inspect the roof, <i>prior to closing</i> , to fully evaluate the insurability of the roof.			
V			$\overline{\checkmark}$	D. Roof Structure & Attic (If the attic is inaccessible, report the method used to inspect.)			
				Comments:			
				Description of Roof Structure:			
				☑ Rafter Assembly ☐ Truss Assembly			
				Attic Accessible? □ Yes/ □ No/ ☑ Partial/ □ Observed from attic access only.			
				Description of Attic Insulation:			
				Insulation Depth: \square 0-3"/ \square 4"-6"/ \square 7"-9"/ \square 10"-13"/ \square 13+"			
				(Note: Recommended depth of insulation is 10+" to achieve a R30 rating.)			
				Insulation Type: 🗹 Loose Fill 💮 Batt or Blanket 🗀 Foam			
				OBSERVATIONS:			
				Roof Structure			
				All components were found to be in satisfactory condition on the day of the inspection.			
				Attic Ventilation			
				All components were found to be in satisfactory condition on the day of the inspection.			
				Attic Power Vents			

All components were found to be in satisfactory condition on the day of the inspection.

I NI NP R Inspection Item

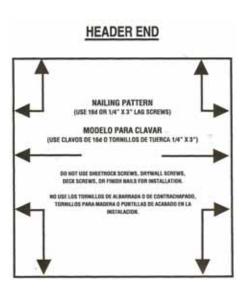
Attic Insulation

The attic insulation needs to be redistributed over the master bathroom closet.



Attic Ladder

- The frame is damaged and should be repaired to the garage attic ladder.
- The attic ladder was observed to be installed with improper fasteners (sheetrock screws and/or finishing nails). The manufacturer requires the attic ladder to be installed with 16d nails and/or 3-inch lag bolts. This condition should be further evaluated and corrected as necessary.





I=Inspected			NI=Not Ins	spected NP=Ne	NP=Not Present R=Not Functioning or In Need of Repair				
I	NI	NP	R		Inspe	ection Item			
$\overline{\mathbf{V}}$			Ø	E. Walls (Interior Comments:	Walls (Interior & Exterior) Comments:				
				Description of Exteri	ior Cladding:				
				✓ Wood Type Venee	er 🗹 Brick Veneer	☑ Stone Masonry Veneer			
				☐ Fiber Cement Boar	rd	☐ Metal Siding			
				☐ Stucco ☐ I	EIFS (Exterior Insulation	on & Finish System)			
				OBSERVATIONS:					

Interior Walls & Surfaces

- Water stains were observed on the walls in master bathroom closet. The cause and remedy should be further evaluated and corrected as necessary.
- Water stains and damage was observed on the walls at and around the windows in the dining
 area and study area. The cause and remedy should be further evaluated and corrected as
 necessary.
- Wall sheetrock joint cracks observed in the gameroom.
- The wall corner tape is cracking and/or separating in the living area.
- Nail heads observed to be pushing through the interior finish in the laundry room.
- Evidence of painting and patching to the interior finish and prior sheetrock repairs were observed.

Exterior Walls & Surfaces

- The cast stone at the guest bedroom between the upper and lower windows is pulling loose and rotating out of place. This condition has allowed water intrusion at and around the window that needs to be corrected.
- The mortar at the cast stone at and around the front entry area is loose and/or missing. This condition should be further evaluated and corrected as necessary.
- The cast stone mortar needs to be improved at and around all of the west windows.
- The cast stone between the upper and lower windows of the dining area and study area window has a negative slope toward the windows. This has caused water intrusion at and around the windows. This condition should be further evaluated and corrected as necessary.
- The area between the exterior veneer and the outside HVAC condenser/coils refrigerant lines needs to be properly sealed.
- Caulking improvements are recommended for the area between the exterior veneer and the window frames.
- There were no weepholes observed in the low course of the exterior masonry veneer over the window openings and garage overhead doorframe steel lintels.

Upstairs Catwalk Railing

 The railing for the catwalk/loft looking over the living area is loose and should be better secured for reasons of safety.

NI NP R Inspection Item





Mortar improvements are needed.



Cast stone is rotating out of place.



Mortar improvements are needed.

Negative slope on window cast stone.

NI NP R Inspection Item





Mortar Improvements are needed.

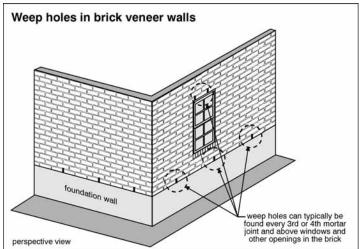
The area between the refrigeration lines and brick needs to be sealed.

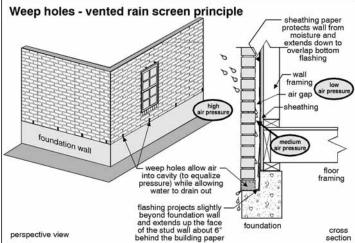




No weepholes over the garage door and window steel lintels.

I NI NP R Inspection Item





International Residential Code for One & Two Family Dwellings R703.7.2.1 Support by steel angle.

A minimum 6 inches by 4 inches by 5 /16 inch (152 mm by 102 mm by 8 mm) steel angle, with the long leg placed vertically, shall be anchored to double 2 inches by 4 inches (51 mm by 102 mm) wood studs at a maximum on center spacing of 16 inches (406 mm). Anchorage of the steel angle at every double stud spacing shall be a minimum of two 7 /16 inch (11.1 mm) diameter by 4 inches (102 mm) lag screws. The steel angle shall have a minimum clearance to underlying construction of 1 /16 inch (1.6 mm). A minimum of two-thirds the width of the masonry veneer thickness shall bear on the steel angle. **Flashing and weep holes shall be located in the masonry veneer wythe in accordance with Figure R 703.7.1.** The maximum height of masonry veneer above the steel angle support shall be 12 feet, 8 inches (3861 mm). The maximum slope of the roof construction shall be not more than 7:12. The air space separating the masonry veneer from the wood backing shall be in accordance with Sections R703.7.4 and R703.7.4.2.

I=Inspected		NI=Not Inspected		Inspected	NP=Not Present	R=Not Functioning or In Need of Repair
I	NI	NP	R			Inspection Item
			V	F.	Ceilings & Floors Comments:	

Floors

All components were found to be in satisfactory condition on the day of the inspection.

Ceilings

- Water stains observed on the ceilings in master bathroom. The cause and remedy should be further evaluated and corrected as necessary.
- Water stains and damage were observed on the ceilings in guest bathroom. The cause and remedy should be further evaluated and corrected as necessary.
- Nail heads observed to be pushing through the interior finish in the master bedroom and bedroom #4.
- Ceiling sheetrock joint cracks were observed in the master bedroom, bedroom #3, guest bedroom and the family room.



I=Inspected		NI=Not Inspected		Inspected	NP=Not Present	R=Not Functioning or In Need of Repair
I	NI	NP	R			Inspection Item
<u> </u>			V		Doors (Interior & Exterior) Comments:	

Interior Door(s)

All components were found to be in satisfactory condition on the day of the inspection.

Exterior Doors(s)

- The front entry door weather-stripping needs to be improved at the top.
- There is no exterior landing in place at the garage backyard door and the master bedroom closet exterior door. Under current building standards there should be a minimum of a 36-inch deep landing as wide as the door opening.

Single Overhead Garage Door

• The garage door is not balanced properly and should be adjusted as necessary.



Refer to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.

l=Insp	I=Inspected		NI=Not Inspected		NP=Not Present	R=Not Functioning or In Need of Repair
I	NI	NP	R			Inspection Item
\square			Ø	Н.	Windows Comments:	

Windows

- Visible evidence of water intrusion observed at and/or around the window(s) in the dining room. The cause and remedy should be investigated and corrected as necessary.
- Visible evidence of water intrusion observed at and/or around the window(s) in the study area. The cause and remedy should be investigated and corrected as necessary.
- Visible evidence of water intrusion observed at and/or around the window(s) in the guest bedroom. The cause and remedy should be investigated and corrected as necessary.
- Visible evidence of water intrusion observed at and/or around the window(s) in bedroom #4. The cause and remedy should be investigated and corrected as necessary.
- The security contacts in the window frames need to be properly sealed so to help prevent water intrusion within the wall voids below the windows.





Security contacts need sealed.

Water damage at bedroom #4 window.

I NI NP R Inspection Item



Water damage at dining area window.

Water damage at study area window.

Refer to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.

☑ □ □ I. Fireplace/Chimney Comments:

Fireplace / Chimney

All components were found to be in satisfactory condition on the day of the inspection.

_	I=Inspected NI=Not Inspecte		nspected	NP=Not Present	R=Not Functioning or In Need of Repair			
		NI	NP	R		Inspection Item		
	V			V	J.	Porches, Decks and Carpor Comments:	ts (Attached)	

Porch / Patio

The patio at the front of the house is installed above the foundation/brick ledge. This type of
installation could cause water intrusion into the structure. This condition should be closely
monitored and corrected as necessary.



Refer to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.

 $\overline{\mathbf{A}}$

 $\overline{\mathbf{Q}}$

 I=Inspected
 NI=Not Inspected
 NP=Not Present
 R=Not Functioning or In Need of Repair

 I
 NI
 NP
 R

 Inspection Item

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

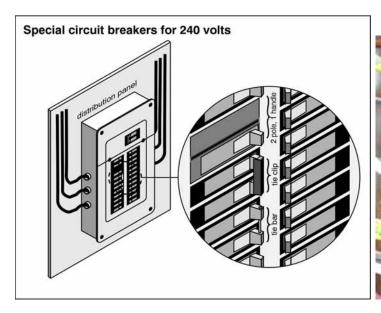
Comments:

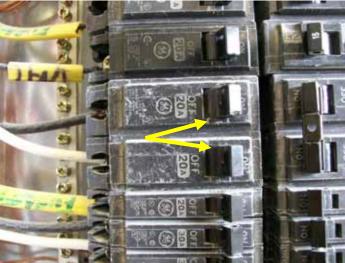
Panel Box

Branch Circuit Conductor (wiring) Type: **Copper**Box Rating and/or Main Disconnect Rating: **200 amps**

Box Location: Garage

• A set of split 20-amp breaker's trip-ties are missing. The split overcurrent devices (breakers) servicing 240V appliances should be connected together by trip-ties.





NI NP R Inspection Item

Sub Panel

Box Location: Garage

• Sub-panel box cover plate should be mounted with blunt tip screws and not sharp wood type screws for reasons of safety.



Distribution Wiring

• There is an open electrical junction box in the attic area over the upstairs bedroom hallway. All open junction box(es) in the attic should be properly enclosed.



Refer to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.

I=Inspected			NI=Not Inspected		NP=Not Present	R=Not Functioning or In Need of Repair	
I	NI	NP	R		Inspection Item		
Ø			V		Branch Circuits - Connected the lack of ground fault circuit Comments:	Devices and Fixtures (Report as in need of repair protection where required.):	
				Recepta	cles		

- Some of the receptacles in the home could not be reached for inspection, due to heavy storage or furniture.
- All of the west exterior soffit receptacles are inoperative at the time of this inspection. The receptacles and circuits should be investigated and corrected as necessary. The homeowners and I were unable to locate a switch for the soffit receptacles.

Fixtures

The laundry area light fixture cover / globe is missing at the time of this inspection.

Switches

All components were found to be in satisfactory condition on the day of the inspection.

Smoke Alarms

All components were found to be in satisfactory condition on the day of the inspection.

I=Inspected		NI=Not Inspected		spected	NP=Not Present	R=Not Functioning or In Need of Repair	
I	NI	NP	R		Inspection Item		
Ø					HEATING, VENTILATI Heating Equipment Type And Energy Source: Comments:	ON AND AIR CONDITIONING SYSTEMS	

Master Bedroom Central Heating System - Energy Source: Gas

• Appears to be functioning as intended at the time of this inspection.

Additional Observation and/or Comments:

• The heating unit flue (vent pipe) has inadequate clearance from combustible materials. Double walled vent pipes should have at least one-inch (1") of clearance and single walled vent pipes should have at least six-inches (6") of clearance from combustible material.



 I=Inspected
 NI=Not Inspected
 NP=Not Present
 R=Not Functioning or In Need of Repair

 I
 NI
 NP
 R

 Inspection Item
 Inspection Item

Upstairs Central Heating System – Energy Source: Gas

• Appears to be functioning as intended at the time of this inspection.

Additional Observation and/or Comments:

• The heating unit flue (vent pipe) has inadequate clearance from combustible materials. Double walled vent pipes should have at least one-inch (1") of clearance and single walled vent pipes should have at least six-inches (6") of clearance from combustible material.



 I=Inspected
 NI=Not Inspected
 NP=Not Present
 R=Not Functioning or In Need of Repair

 I
 NI
 NP
 R

 Inspection Item
 Inspection Item

Downstairs Central Heating System – Energy Source: Gas

• Appears to be functioning as intended at the time of this inspection.

Additional Observation and/or Comments:

- There is an inadequate service passage to the attic mount equipment. Under current mechanical installation standards, all appliances (i.e. HVAC Equipment and/or Water Heaters) mounted in an attic space should be accessible with a passageway of continues solid flooring not less than 24-inches wide. A level service space at least 30-inches deep and 30-inches wide should be present along the side of the appliance where access is required.
- There is an inadequate service platform in front of the service side of the heater. There should be at least a 30 X 30 inch decked service space in front of the attic unit.



Refer to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.

l=Insp	Inspected NI=Not Inspected		NP=Not Present	R=Not Functioning or In Need of Repair		
	NI	NP	R			Inspection Item
			V	В.	Cooling Equipment Type And Energy Source:	
					Comments:	

Upstairs Central Cooling System – Energy Source: Electric

Cooling system needs to be checked and serviced by a Qualified Cooling Company. The observations made to support the rendering of this opinion are listed but not limited to the following:

- Air leaks detected at and/or around the indoor coil housing. These air leaks should be corrected for improved efficiency.
- Damaged, deteriorated and/or missing insulation on the refrigerant lines should be repaired or replaced at the outside condenser.
- Damaged, deteriorated and/or missing insulation on the refrigerant lines in the attic area should be repaired or replaced as necessary.
- The emergency condensate drain pan under the coil housing should be free of all debris. The debris in the pan could clog the drain line and cause water to leak to the interior of the house.
- The outdoor unit of the air conditioning system is out of level. This should be improved.
- The electrical service disconnect is installed behind the condenser. This does not meet the
 clearance requirements of the National Electrical Code or the International Residential Code
 and should be corrected as necessary.
- The Texas Real Estate Commission recommends that the primary condensate drain line that
 runs off the indoor coils be insulated. By insulating the drain line, this will help prevent
 moisture from building up on the exterior of the drain line and leaking onto the floors and/or
 ceilings.



I NI NP R Inspection Item

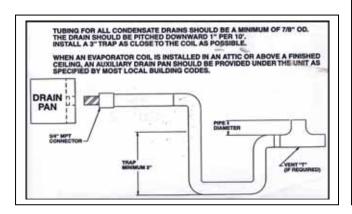
Downstairs Central Cooling System – Energy Source: Electric

Cooling system needs to be checked and serviced by a Qualified Cooling Company. The observations made to support the rendering of this opinion are listed but not limited to the following:

• The temperature drop measured across the evaporator coil of the air conditioning system is lower than considered typical. This usually indicates that servicing is needed. A qualified heating and cooling technician should be consulted to further evaluate this condition and the remedies available for correction.

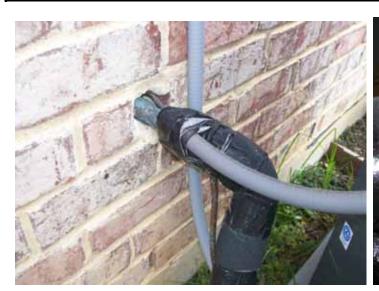
Today's Temperature Differential (Delta-T): 9 Degrees

- Air leaks detected at and/or around the indoor coil housing. These air leaks should be corrected for improved efficiency.
- Damaged, deteriorated and/or missing insulation on the refrigerant lines should be repaired or replaced at the outside condenser.
- Damaged, deteriorated and/or missing insulation on the refrigerant lines should be repaired or replaced at the outside condenser.
- The secondary condensate drain line is not properly supported. The slope of the secondary condensate drain line appears to be insufficient. Under current mechanical standards, the secondary condensate drain line should have a minimum slope of 1/8-inch per foot.
- The emergency condensate drain pan under the coil housing should be free of all debris. The
 debris in the pan could clog the drain line and cause water to leak to the interior of the house.
- The electrical service disconnect is installed behind the condenser. This does not meet the
 clearance requirements of the National Electrical Code or the International Residential Code
 and should be corrected as necessary.
- The Texas Real Estate Commission recommends that the primary condensate drain line that runs off the indoor coils be insulated. By insulating the drain line, this will help prevent moisture from building up on the exterior of the drain line and leaking onto the floors and/or ceilings.
- The primary condensate drain line is not equipped with a p-trap. Under current mechanical installation standards, the manufacturer requires a p-trap be installed in the primary condensate drain line within 6-inches of the coil housing.





NI NP R Inspection Item





Master Bedroom Central Cooling System - Energy Source: Electric

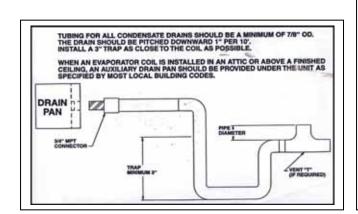
Cooling system needs to be checked and serviced by a Qualified Cooling Company. The observations made to support the rendering of this opinion are listed but not limited to the following:

• The temperature drop measured across the evaporator coil of the air conditioning system is lower than considered typical. This usually indicates that servicing is needed. A qualified heating and cooling technician should be consulted to further evaluate this condition and the remedies available for correction.

Today's Temperature Differential (Delta-T): 12 Degrees

- The bottom of the coil housing is condensating and leaking water into the secondary drain pan. This condition should be further evaluated and corrected as necessary.
- Air leaks detected at and/or around the indoor coil housing. These air leaks should be corrected for improved efficiency.
- Previous water leakage observed from around the base of the indoor coil housing. The cause and remedy should be further evaluated and corrected if necessary.
- Damaged, deteriorated and/or missing insulation on the refrigerant lines should be repaired or replaced at the outside condenser.
- The emergency condensate drain pan under the coil housing has a rust build up. This indicates that the pan has held water in the past and should be closely monitored.
- The emergency condensate drain pan under the coil housing should be free of all debris. The debris in the pan could clog the drain line and cause water to leak to the interior of the house.
- The emergency condensate drain pan under the coil housing is not properly installed and/or
 positioned under the coils. The cause and remedy should be further evaluated and corrected
 as necessary.
- The outdoor unit of the air conditioning system is out of level. This should be improved.
- The primary condensate drain line is not equipped with a p-trap. Under current mechanical installation standards, the manufacturer requires a p-trap be installed in the primary condensate drain line within 6-inches of the coil housing.

NI NP R Inspection Item









Refer to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.

Notice: Temperature differential readings are a fundamental standard for testing the proper operation of the cooling system. The normal acceptable range is considered approximately between <u>15 to 23</u> degrees F. total difference between the return air and supply air. Unusual conditions such as excessive humidity, low outdoor temperatures, and restricted airflow may indicate abnormal operation even though the equipment is functioning basically as designed and occasionally may indicate normal operation in spite of an equipment malfunction.

l=Insp	ected		NI=Not Inspected		NP=Not Present	R=Not Functioning or In Need of Repair
I	NI	NP	R			Inspection Item
\square			Ø	C.	Ducts and Vents Comments:	

• Some of the ductwork in the attic area has been turned to sharply. This will restrict the airflow through the ducting system and effect the airflow balance in some areas of the house.



Refer to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.

l=Inspected			NI=Not Inspected		NP=Not Present	R=Not Functioning or In Need of Repair
I	NI	NP	R			Inspection Item
Ø			abla	IV. A.	PLUMBING SYSTEM Water Supply System and Fit Comments:	xtures

Garage Utility Sink

All components were found to be in satisfactory condition on the day of the inspection.

Kitchen Sink

All components were found to be in satisfactory condition on the day of the inspection.

Laundry Sink

All components were found to be in satisfactory condition on the day of the inspection.

Wet Bar Sink

All components were found to be in satisfactory condition on the day of the inspection.

Downstairs Hall Bathroom

All components were found to be in satisfactory condition on the day of the inspection.

Exterior Faucets/Fixtures

All components were found to be in satisfactory condition on the day of the inspection.

Bathroom

Bathtub

Bathtub has some surface damage.

Master Bathroom

Bathtub

Cracked, deteriorated and/or missing bathtub enclosure grout and/or caulk should be repaired or replaced as necessary.

Upstairs Hall Bathroom

Lavatory / Sink

Note: Previous water leaks observed at and/or around the drain connections under the sink. This would indicate previous problems and should be closely monitored and corrected when necessary.

Commode / Toilet

Water leaks into the commode bowl, after the ballcock assembly has reset.

l=Insp	ected	NI=Not Inspected		Inspected	NP=Not Present	R=Not Functioning or In Need of Repair
ı	NI	NP	R			Inspection Item
\square			$\overline{\checkmark}$	В.	Drains, Wastes, Vents Comments:	

 The masonry mortar covering the exterior wall cleanout cover on the north exterior wall should be removed.



 $Refer \ to \ Outside \ the \ Scope \ of \ Inspection \ \& \ Service \ Contract \ for \ Limitations, \ Departures \ and \ Disclaimers.$

l=Insp	ected		NI=Not II	nspected	NP=Not Present	R=Not Functioning or In Need of Repair
I	NI	NP	R			Inspection Item
			\square		Water Heating Equipment (R listed as recognized hazards be Energy Source: Comments:	eport as in need of repair those conditions specifically y TREC rules.)

Unit #1

Water Heater - Energy Source: Gas

Location: Attic

Approximate Capacity: 50 Gallons

- There was a gas leak detected at the gas pilot assembly. The inspector used a TIFF 8800 gas leak detector to locate the leak.
- The debris in the water heater pan should be cleaned out to help prevent the pan drain line from being clogged.
- The fittings at the top of the water heater are made of dissimilar metals (galvanized steel
 connected to copper and/or brass). This condition is known to cause electrolysis and possibly
 shorten the lifespan of the water heater. It is recommended to replace the galvanized steel
 fitting with a brass or copper fitting or install a dielectric union between the two dissimilar
 metals to prevent electrolysis from occurring.





NI NP R Inspection Item

Unit #2

Water Heater - Energy Source: Gas

Location: Attic

Approximate Capacity: 50 Gallons

- There is a small water leak at the lower drain bib were the recirculation line is connected.
- Corrosion was observed at the water supply connections at the top of the water heater.
- The fittings at the top of the water heater are made of dissimilar metals (galvanized steel
 connected to copper and/or brass). This condition is known to cause electrolysis and possibly
 shorten the lifespan of the water heater. It is recommended to replace the galvanized steel
 fitting with a brass or copper fitting or install a dielectric union between the two dissimilar
 metals to prevent electrolysis from occurring.
- The debris in the water heater pan should be cleaned out to help prevent the pan drain line from being clogged.





Refer to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.

Special Notice: Manufacturers of all Temperature and Pressure Relief (TPR) Valves state that the Temperature and Pressure Relief (TPR) Valve should be replaced every two years. If the date code on the TPR is over two years old, you are strongly recommended to replace the TPR for reasons of safety.

Notice: Water heater closets should not be used for any additional storage of any kind.

I=Inspected			NI=Not Inspected		NP=Not Present	R=Not Functioning or In Need of Repair
I	NI	NP	R			Inspection Item
			$\overline{\checkmark}$	D.	Hydro-Therapy Equipment	

All components were found to be in satisfactory condition on the day of the inspection.

Note: The access to the hydrotherapy equipment motor is not readily accessible and inspection of the equipment lines and motor could not be performed.



International Residential Code for One & Two Family Dwellings SECTION E4109 HYDROMASSAGE BATHTUBS

E4109.1 Ground-fault circuit-interrupters. Hydromassage bathtubs and their associated electrical components shall be protected in accordance with Section E4109.

E4109.2 Other electric equipment. Lighting fixtures, switches, receptacles, and other electrical equipment located in the same room, and not directly associated with a Hydromassage bathtub, shall be installed in accordance with the requirements of this code relative to the installation of electrical equipment in bathrooms.

E4109.3 Accessibility. Hydromassage bathtub electrical equipment shall be accessible without damaging the building structure or building finish.

E4109.4 Bonding. All metal piping systems, metal parts of electrical equipment, and pump motors associated with the hydromassage tub shall be bonded together using a copper bonding jumper, insulated, covered, or bare, not smaller than No. 8 solid.

Metal parts of listed equipment incorporating an approved system of double insulation and providing a means for grounding internal non-accessible, noncurrent-carrying metal parts shall not be bonded.

l=Inspe			NI=Not Ins	pected	NP=Not Present R=Not Functioning or In Need of Repair
<u> </u>	NI	NP	R		Inspection Item
Ø				Α	V. APPLIANCES Dishwasher Comments: Checked In Normal Wash Cycle Only
				All c	omponents were found to be in satisfactory condition on the day of the inspection.
				Refer	to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.
$\overline{\checkmark}$				В.	Food Waste Disposer Comments:
				All c	omponents were found to be in satisfactory condition on the day of the inspection.
				Refer	to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.
V				C.	Range Hood Comments:
				All c	omponents were found to be in satisfactory condition on the day of the inspection.
				Refer	to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.
V				D.	Ranges/Ovens/Cooktops Comments:
				All c	omponents were found to be in satisfactory condition on the day of the inspection.
				Refer	to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.
\checkmark				E.	Microwave Cooking Equipment Comments:
				All c	omponents were found to be in satisfactory condition on the day of the inspection.
				Refer	to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.
		$\overline{\checkmark}$		F.	Trash Compactor Comments:
				Refer	to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.
				G.	Bathroom Exhaust Fans and/or Heaters Comments:
				All c	omponents were found to be in satisfactory condition on the day of the inspection.
				Refer	to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.

I=Inspe	ected		NI=Not In	spected	NP=Not Present	R=Not Functioning or In Need of Repair
I	NI	NP	R		I	nspection Item
	V			Н.	Whole House Vacuum Syster Comments: (This item is excl	
Ø				I.	Garage Door Operators Comments:	
			_	Refer J.	to Outside the Scope of Inspection & Ser Door Bell and Chimes Comments:	vice Contract for Limitations, Departures and Disclaimers.
				Refer	to Outside the Scope of Inspection & Ser	vice Contract for Limitations, Departures and Disclaimers.

- The length of the clothes dryer flue is to long under current building standards.
- The dryer vent termination is not properly sealed on the attic side of the roof penetration. This is allowing dryer lint to fall back into the attic area and should be corrected as necessary.
- The dryer exhaust duct termination is not properly equipped with a backdraft damper at the time of this inspection.
- The dryer exhaust termination should not be screened. **Note**: Screening the dryer exhaust termination will cause the dryer duct to clog.



International Residential Code M1501.1 General. Dryer exhaust systems shall be independent of all other systems, shall convey the moisture to the outdoors and shall terminate on the outside of the building. Exhaust duct termination's shall be in accordance with the dryer manufacturer's installation instructions. Screens shall not be installed at the duct termination. Exhaust ducts shall not be connected with sheet-metal screws or fastening means which extend into the duct. Exhaust ducts shall be equipped with a backdraft damper. Exhaust ducts shall be constructed of minimum 0.016-inch-thick (0.406 mm) rigid metal ducts, having smooth interior surfaces with joints running in the direction of air flow. Flexible transition ducts used to connect the dryer to the exhaust duct system shall be limited to single lengths, not to exceed 8 feet (2438 mm) in length and shall be listed and labeled in accordance with UL 2158A. Transition ducts shall not be concealed within construction.

International Residential Code M1501.3 Length limitation. The maximum length of a clothes dryer exhaust duct shall not exceed 25 feet (7620 mm)from the dryer location to the wall or roof termination. The maximum length of the duct shall be reduced 2.5 feet (762 mm) for each 45-degree (0.79 rad) bend and 5 feet (1524 mm) for each 90-degree (1.6 rad) bend. The maximum length of the exhaust duct does not include the transition duct.

l=Insp	I=Inspected		NI=Not Inspected		NP=Not Present	R=Not Functioning or In Need of Repair
I	NI	NP	R	-	In	spection Item
					OPTIONAL SYSTEMS Lawn Sprinklers Comments:	
				В.	to Outside the Scope of Inspection & Servi Swimming Pools and Equipme Comments:	ce Contract for Limitations, Departures and Disclaimers.
				C.	to Outside the Scope of Inspection & Servi Outbuildings Comments:	ce Contract for Limitations, Departures and Disclaimers.
		V		D.	to Outside the Scope of Inspection & Servi Outdoor Cooking Equipment Comments:	ce Contract for Limitations, Departures and Disclaimers.
Ø			Ø	E.	to Outside the Scope of Inspection & Servi Gas Lines Comments:	ce Contract for Limitations, Departures and Disclaimers.

Gas Supply Lines and Related Components

Movement was detected in the gas gauge at the time of the gas check. This indicates a gas leak is present and needs to be investigated and repaired as necessary by a Qualified Licensed Plumber. The observation made to support the rendering of this opinion are listed but not limited to the following:

Gas Water Heater

There was a gas leak detected at the gas pilot assembly. The inspector used a TIFF 8800 gas leak detector to locate the leak.

Refer to Outside the Scope of Inspection & Service Contract for Limitations, Departures and Disclaimers.

Scope: The Inspector shall inspect and report as in need of repair, deficiencies in the condition of all accessible and visible gas pipes and test the gas lines using a local and/or industry accepted procedure. The Inspector will use a combustible gas leak detector on all the accessible gas lines, joints, unions and connectors and report as in need of repair, any deficiencies found at the time and date of the inspection.

Specific Limitations for gas lines: The inspector is not required to inspect sacrificial anode bonding or for its existence. The Inspector does not and will not perform a pressure test on the gas lines. The Inspector cannot detect gas leaks below the finished grade (underground) or between the walls or behind fireplace hearths. Propane tanks will not be inspected. If any further concerns exist about possible gas line failure and/or deficiencies, we recommend the buyer have the gas system further evaluated by the local controlling gas supplier and/or a qualified licensed master plumber.

www.a-action.com

l=Insp	ected		NI=Not Ins	spected	NP=Not Present	R=Not Functioning or In Need of Repair
I	NI	NP	R			nspection Item
						sis is recommended.) ed from all inspections. If there is a usable water well ded that a water well specialist perform a coliform test
				Refer	to Outside the Scope of Inspection & Ser	vice Contract for Limitations, Departures and Disclaimers.
				G.	Septic Systems Comments:	
				Notic	ce: Most septic systems are registe	evice Contract for Limitations, Departures and Disclaimers. ered with the county. It is strongly recommended to check that is in place and to get a diagram of the drain field.
	$\overline{\checkmark}$			Н.	Security Systems Comments:	
		V		Refer	to Outside the Scope of Inspection & Ser Pier(s) and Boathouse Comments:	vice Contract for Limitations, Departures and Disclaimers.

 $Refer \ to \ Outside \ the \ Scope \ of \ Inspection \ \& \ Service \ Contract \ for \ Limitations, \ Departures \ and \ Disclaimers.$

I=Inspected NI=Not Inspected NP=Not Present R=Not Functioning or In Need of Repair ı NI NP R Inspection Item ADDITIONAL INFORMATION PROVIDED BY INSPECTOR (Continuation of information from page two.) Property was: Occupied / Vacant Inspection Time In: _2 pm___ Time Out: _5 pm_ House Orientation (For Purpose Of This Report Front Faces): West Weather Conditions During Inspection: Cloudy Overcast Outside temperature during inspection: 80 to 90 DEGREES Parties present at inspection: Owner

INSPECTION AGREEMENT PLEASE READ THIS AGREEMENT CAREFULLY BEFORE SIGNING

I. Scope of Services

- A. In exchange for the Inspection Fee paid by Client, the Inspector agrees to provide the Client with an Inspection Report setting out the Inspector's professional opinions concerning the condition of the Property further described in the report. The inspection will be performed in accordance with the Standards of Practice promulgated by the Texas Real Estate Commission. Inspector will attempt to identify major defects and problems with the Property. However, Client acknowledges that the Inspection Report may not identify all defects or problems.
- B. The inspection is limited to those items which can be seen, easily accessed and/or operated by the Inspector at the time of the inspection as set out in the Inspection Report. Inspector will not remove walls, floors, wall coverings, floor coverings and other obstructions in order to inspect concealed items. Systems and conditions which are not specifically addressed in the Inspection Report are excluded.
- C. The Inspector may indicate one of the following opinions of the Inspector regarding a particular item:
 - 1. The item is performing its intended function at the time of the inspection;
 - 2. The item is in need of replacement or repair; or
 - 3. Further evaluation by an expert is recommended.

II. Inspection Report

- A. The Inspection Report provided by the Inspector will contain the Inspector's professional, good-faith opinions concerning the need for repair or replacement of certain observable items. All statements in the report are the Inspector's opinions and should not be construed as statements of fact or factual representations concerning the Property. By signing this Agreement, the Client understands that the services provided by the Inspector fall within the Professional Services Exemption of the Texas Deceptive Trade Practices Act ("DTPA") and agrees that no cause of action exists under the DTPA related to the services provided. Unless specifically stated, the report will not include and should not be read to indicate opinions as to the environmental conditions, presence of toxic or hazardous waste or substances, presence of termites or other wood-destroying organisms, or compliance with codes, ordinances, statutes or restrictions or the insurability, efficiency, quality, durability, future life or future performance of any item inspected.
- B. The Inspection Report is not a substitute for disclosures by sellers and real estate agents. Said disclosure statements should be carefully read for any material facts that may influence or effect the desirability and/or market value of the Property.
- C. As noted above, the Inspection Report may state that further evaluation of certain items is needed by an expert in the field of the item inspected. By signing this Agreement, Client acknowledges that qualified experts may be needed to further evaluate such items as structural systems, foundations, grading, drainage, roofing, plumbing, electrical systems, HVAC, appliances, sprinkler systems pool system and components, fire/smoke detection systems, septic systems and other observable items as noted in the report.

I=Inspected NI=Not Inspected NP=Not Present R=Not Functioning or In Need of Repair

I NI NP R Inspection Item

III. Disclaimer of Warranties

The inspector makes no guarantee or warranty, express or implied, as to any of the following:

- 1. That all defects have been found or that the Inspector will pay for repair of undisclosed defects;
- 2. That any of the items inspected are designed or constructed in a good and workmanlike manner;
- 3. That any of the items inspected will continue to perform in the future as they are performing at time of the inspection; and
- 4. That any of the items inspected are merchantable or fit for any particular purpose.

IV. LIMITATION OF LIABILITY

By signing this Agreement, Client acknowledges that the Inspection Fee paid to the Inspector is nominal given the risk of liability associated with performing home inspections if liability could not be limited. Client acknowledges that without the ability to limit liability, the Inspector would be forced to charge Client much more than the Inspection Fee for the Inspector's services. Client acknowledges being given the opportunity to have this Agreement reviewed by counsel of his or her own choosing and further acknowledges the opportunity of hiring a different Inspector to perform the Inspection. By signing this Agreement, Client agrees to liability being limited to the amount of the Inspection Fee paid by the Client.

V. Dispute Resolution

In the event a dispute arises regarding an inspection that has been performed under this agreement, the Client agrees to notify the Inspector within ten (10) days of the date the Client discovers the basis for the dispute so as to give the Inspector a reasonable opportunity to reinspect the property. Client agrees to allow re-inspection before any corrective action is taken. Client agrees not to disturb or repair or have repaired anything which might constitute evidence relating to a complaint against the Inspector. Client further agrees that the Inspector can either conduct the reinspection himself or can employ others (at Inspector's expense) to reinspect the property, or both. In the event a dispute cannot be resolved by the Client and the Inspector, the parties agree that any dispute or controversy shall be resolved by mandatory and binding arbitration administered by the American Arbitration Association ("AAA") pursuant to Chapter 171 of the Texas Civil Practice & Remedies Code and in accordance with this arbitration agreement and the commercial arbitration rules of the AAA.

VI. Attorney's Fees

The Inspector and the Client agree that in the event any dispute or controversy arises as a result of this Agreement, and the services provided hereunder, the prevailing party in that dispute shall be entitled to recover all of the prevailing party's reasonable and necessary attorneys' fees and costs incurred by that party.

VII. Exclusivity

The Inspection Report is to be prepared exclusively for the Client named and is not transferable to anyone in any form. Client gives permission for the Inspector to discuss report findings with real estate agents, specialists, or repair persons for the sake of clarification. A copy of the Inspection Report may be released to the selling Real Estate Agent.

BY MY SIGNATURE BELOW, I ACKNOWLEDGE THAT I HAVE READ THIS CONTRACT AND THE ATTACHED DOCUMENTS, IF ANY; THAT I UNDERSTAND THE TERMS AND CONDITIONS AND THAT I AGREE TO BE BOUND BY THESE TERMS AND CONDITIONS. IF CLIENT IS MARRIED, CLIENT REPRESENTS THAT THIS OBLIGATION IS A FAMILY OBLIGATION INCURRED IN THE INTEREST OF THE FAMILY.

Signature:	Date:	Day:
Inspector:	Date:	Day:

_	I=Inspected			NI=Not Inspected	NP=Not Present	R=Not Functioning or In Need of Repair
ĺ		NI	NP	R		Inspection Item

It has been a pleasure providing this inspection service for you. If you have any questions at all, please feel free to email me or call my cell phone @ 972-743-5588.

You Can Visit Our Website at: www.a-action.com

Brian P. Murphy A-Action Home Inspection Group Texas Real Estate Commission #3948 brian@a-actionhomeinspection.com

Your Home Consultant for Life



Brian Murphy - Operator & Lead Inspector of A-Action Home Inspection Group

- Licensed Professional Real Estate Inspector #3948 (Texas Real Estate Commission)
- Licensed Certified Applicator (Structural Pest Control Board)
- Member of International Code Council (ICC)
- Certified Code Inspector ICC #5186355-R5 International Residential Code for One- and Two-Family Dwelling
- Certified Residential Electrical Inspector ICC #5186355-E1
- Certified Exterior Insulation and Finish System (EIFS) Third Party Inspector Exterior Design Institute (EDI)
- Certified Third Party Moisture Analysis Inspector Exterior Design Institute (EDI)
- 2005 President of the Texas Association of Real Estate Inspectors (*TAREI*)
- **TAREI** Certified Professional Inspector
- Member of the Texas Real Estate Commission Inspectors Advisory Committee
- IESO Certified Level I & II Mold Assessment Inspector
- American Society of Home Inspectors MEMBER #211910