



972-572-4500 \* 817-467-0213  
www.a-action.com \* office@a-action.com



INSPECTED FOR  
**Client Name Here**  
**Address**  
**City, TX 00000**  
**Date Here**

## PROPERTY INSPECTION REPORT FORM

<b>Client Name Here</b> <i>Name of Client</i>	<b>Date Here</b> <i>Date of Inspection</i>
<b>Address</b> City, TX 00000 <i>Address of Inspected Property</i>	
<b>Brian Murphy</b> <i>Name of Inspector</i>	<b>3948</b> <i>TREC License #</i>

### PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.*

### RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector **IS** required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

### The inspector **IS NOT** required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

### RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report **DO NOT** obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

### REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

### **THIS INSPECTION IS NOT:**

- a technically exhaustive inspection of the structure, its systems, or its components and **MAY NOT REVEAL ALL DEFICIENCIES;**
- **an inspection to verify compliance with any BUILDING CODES;**
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and **DOES NOT imply insurability or warrantability** of the structure or its components.

**NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS**

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices and arc-fault devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

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Inspection Time In: **8:45 am** Time Out: **12 pm** Property was: **Vacant**  
Building Orientation (For Purpose Of This Report Front Faces): **South**  
Weather Conditions During Inspection: **Sunny**  
Outside temperature during inspection: **90 °+ Degrees**  
Parties present at inspection: **Seller**

**THIS REPORT IS PAID AND PREPARED FOR THE EXCLUSIVE USE BY Client Name Here. THIS COPYRIGHTED REPORT IS NOT VALID WITHOUT THE SIGNED INSPECTION AGREEMENT.**

**THIS REPORT IS NOT TRANSFERABLE FROM CLIENT NAMED ABOVE.**

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## **SCOPE OF INSPECTION**

These standards of practice define the minimum levels of inspection required for substantially completed residential improvements to real property up to four dwelling units. A real estate inspection is a non-technically exhaustive, limited visual survey and basic performance evaluation of the systems and components of a building using normal controls and does not require the use of specialized equipment or procedures. The purpose of the inspection is to provide the client with information regarding the general condition of the residence at the time of inspection. The inspector may provide a higher level of inspection performance than required by these standards of practice and may inspect components and systems in addition to those described by the standards of practice.

## **GENERAL LIMITATIONS**

**The inspector is not required to:**

**(A) inspect:**

- (i) items other than those listed within these standards of practice;
- (ii) elevators;
- (iii) detached buildings, decks, docks, fences, or waterfront structures or equipment;
- (iv) anything buried, hidden, latent, or concealed;
- (v) sub-surface drainage systems;
- (vi) automated or programmable control systems, automatic shut-off, photoelectric sensors, timers, clocks, metering devices, signal lights, lightning arrestor system, remote controls, security or data distribution systems, solar panels, outdoor kitchens, gas grills (built-in or free standing), refrigerators (built-in or free standing), wine coolers, ice makers or smart home automation components; or refrigerators (built-in or free standing), wine coolers, ice makers or smart home automation components; or
- (vii) concrete flatwork such as; driveways, sidewalks, walkways, paving stones or patios;

**(B) report:**

- (i) past repairs that appear to be effective and workmanlike except as specifically required by these standards;
- (ii) cosmetic or aesthetic conditions; or
- (iii) wear and tear from ordinary use;

**(C) determine:**

- (i) insurability, warrantability, suitability, adequacy, compatibility, capacity, reliability, marketability, operating costs, recalls, counterfeit products, product lawsuits, life expectancy, age, energy efficiency, vapor barriers, thermostatic performance, compliance with any code, listing, testing or protocol authority, utility sources, or manufacturer or regulatory requirements except as specifically required by these standards;
- (ii) the presence or absence of pests, termites, or other wood-destroying insects or organisms;
- (iii) the presence, absence, or risk of asbestos, lead-based paint, **MOLD**, mildew, corrosive or contaminated drywall "Chinese Drywall" or any other environmental hazard, environmental pathogen, carcinogen, toxin, mycotoxin, pollutant, fungal presence or activity, or poison;
- (iv) types of wood or preservative treatment and fastener compatibility; or
- (v) the cause or source of a conditions;

**(D) anticipate future events or conditions, including but not limited to:**

- (i) decay, deterioration, or damage that may occur after the inspection;
- (ii) deficiencies from abuse, misuse or lack of use;
- (iii) changes in performance of any component or system due to changes in use or occupancy;
- (iv) the consequences of the inspection or its effects on current or future buyers and sellers;
- (v) common household accidents, personal injury, or death;
- (vi) the presence of water penetrations; or
- (vii) future performance of any item;

(E) operate shut-off, safety, stop, pressure or pressure-regulating valves or items requiring the use of codes, keys, combinations, or similar devices;

(F) designate conditions as safe;

(G) recommend or provide engineering, architectural, appraisal, mitigation, physical surveying, realty, or other specialist services;

(H) review historical records, installation instructions, repair plans, cost estimates, disclosure documents, or other reports;

(I) verify sizing, efficiency, or adequacy of the ground surface drainage system;

(J) verify sizing, efficiency, or adequacy of the gutter and downspout system;

(K) operate recirculation or sump pumps;

(L) remedy conditions preventing inspection of any item;

(M) apply open flame or light a pilot to operate any appliance;

**This confidential report is prepared exclusively for Client Name Here on Date Here.**



- (N) turn on decommissioned equipment, systems or utility services; or
- (O) provide repair cost estimates, recommendations, or re-inspection services.

**THE CLIENT, BY ACCEPTING THIS PROPERTY INSPECTION REPORT OR RELYING UPON IT IN ANY WAY, EXPRESSLY AGREES TO THE SCOPE OF INSPECTION, GENERAL LIMITATIONS AND INSPECTION AGREEMENT INCLUDED IN THIS INSPECTION REPORT.**

This inspection report is made for the sole purpose of assisting the purchaser to determine his and/or her own opinion of feasibility of purchasing the inspected property and does not warrant or guarantee all defects to be found. If you have any questions or are unclear regarding our findings, please call our office prior to the expiration of any time limitations such as option periods.

This report contains technical information. If you were not present during this inspection, please call the office to arrange for a consultation with your inspector. If you choose not to consult with the inspector, this inspection company cannot be held liable for your understanding or misunderstanding of the reports content.

The contents of this report are for the sole use of the client named above and no other person or party may rely on this report for any reason or purpose whatsoever without the prior written consent of the inspector who authored the report. Any person or party who chooses to rely on this report for any reason or purpose whatsoever without the express written consent of the inspector does so at their own risk and by doing so without the prior written consent of the inspector waives any claim of error or deficiency in this report.

This report is not intended to be used for determining insurability or warrantability of the structure and may not conform to the Texas Department of Insurance guidelines for property insurability. ***This report is not to be used by or for any property and/or home warranty company.***

The digital pictures within this report are a representative sample of inaccessible areas, deficiencies or damages in place and should not be considered to show all of the inaccessible areas, deficiencies or damages observed. There will be inaccessible areas, deficiencies or damages not represented with digital imaging.

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## I. STRUCTURAL SYSTEMS

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### A. Foundations

Type of Foundation(s): Slab on Ground

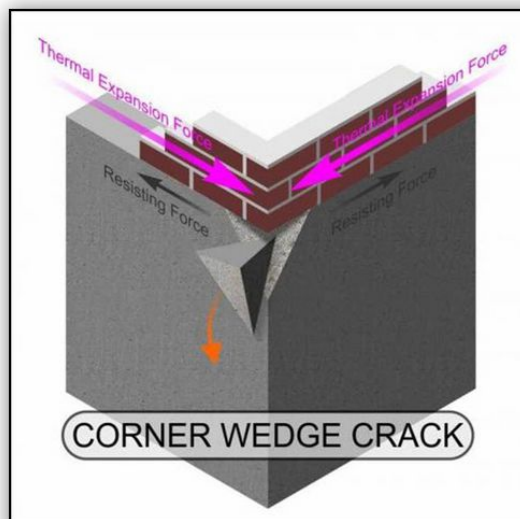
Comments:

#### Foundation Is Performing Adequately

In my opinion, the foundation appears to be providing adequate support for the structure at the time of this inspection. I did not observe any apparent evidence that would indicate the presence of adverse performance or significant deficiencies in the foundation. The interior and exterior stress indicators showed little effects of adverse performance and I perceived the foundation to contain no significant unlevelness after walking the 1st level floors.

#### Additional Observations and/or Comments:

- One or more of the foundation perimeter beam corners were observed to be sheared off (corner pop). This is a common condition to observe and is do to thermal expansion and contraction of the different building materials. This condition does not adversely affect the foundation performance. However, in some cases, some cosmetic improvements may be necessary.



**Notice:** This inspection is one of first impression and the inspector was not provided with any historical information pertaining to the structural integrity of the inspected real property. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection.

The inspection of the foundation may show it to be providing adequate support for the structure or having movement typical to this region, at the time of the inspection. This does not guarantee the future life or failure of the foundation. **The Inspector is not a structural engineer. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied.** If any cause of concern is noted on this report, or if you want further evaluation, you should consider an evaluation by an engineer of your choice.

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**B. Grading and Drainage**

*Comments:*

**Grading & Drainage**

- Poor to negative site drainage was observed on the north side of the structure. Proper drainage is needed to help prevent water from standing and/or pooling next to the foundation beam. Corrective measures may be needed if the water stands within 10-feet of the foundation perimeter beam for more than 24-hours.
- The soil line is too high on the north side of the structure. Under current building standards there should be at least 4-inches of foundation visible below masonry veneer and 6-inches of foundation visible below wood type veneer.



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### C. Roof Covering Materials

Type(s) of Roof Covering: Composition

Viewed From: Walked on roof

Comments:

#### Roof Covering

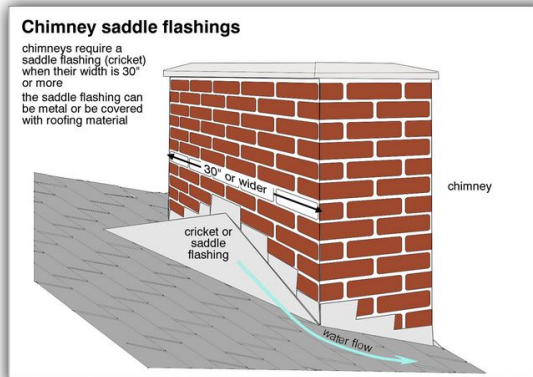
All components appear to be performing adequately on the day of this inspection. The roofing material components appear to be shedding water and achieving the operation, function or configuration relative to accepted industry standard practices with consideration of age and normal wear and tear from ordinary use.

- **Note:** The tree and shrub branches should be trimmed away from the roofing material at all times.



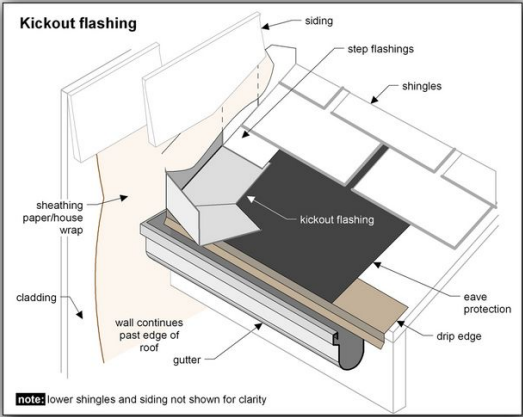
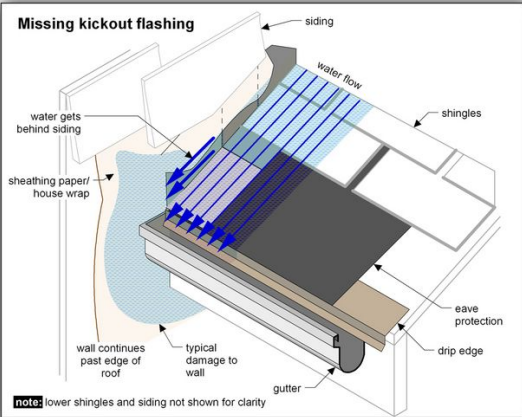
#### Flashing Details

- There was no kickout flashing details observed at the lower bottom edge of the roof line interface and the sidewall that continues past the edge of the roof. The lack of this kickout flashing will allow water to penetrate at these points.
- There is no cricket / saddle in place behind the roof level chimney structure. Under current building standards, there should be a cricket or saddle installed behind the ridge side of any chimney greater than 30-inches wide.





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**Notice:** Life expectancy of the roofing material is not covered by this property inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. The Inspector cannot offer an opinion or warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leaks, either expressed or implied.

The inspection of this roof may show it to be functioning as intended or in need of minor repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your Insurance Company physically inspect the roof, prior to the expiration of any time limitations such as



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option or warranty periods, to fully evaluate the insurability of the roof.

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D. Roof Structures and Attics

*Viewed From:* From Interior of Attic  
*Approximate Average Depth of Insulation:* 0 to 3"  
*Insulation Type:* Loose Filled & Batt or Blanket  
*Description of Roof Structure:* Man House has a Truss Assembly and Rafter Assembly Over added garage.  
*Attic Accessibility:* Partial  
*Comments:*

Roof Structure

- The fascia board material has some deterioration and/or damage on the west side of the roof structure.
- The soffit material has some deterioration and/or damage on the south side of the roof structure.
- One of the trusses has been cut in two at the added whole house fan.



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General Pictures



**Attic Ventilation**  
All components appear to be performing adequately at the time of this inspection. They are achieving an operation, function or configuration relative to accepted industry standard practices with consideration of age and normal wear and tear from ordinary use.



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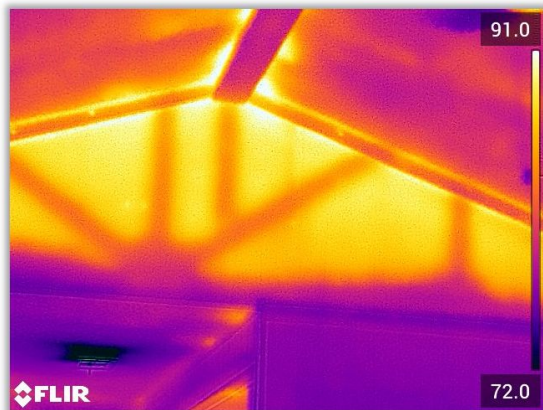
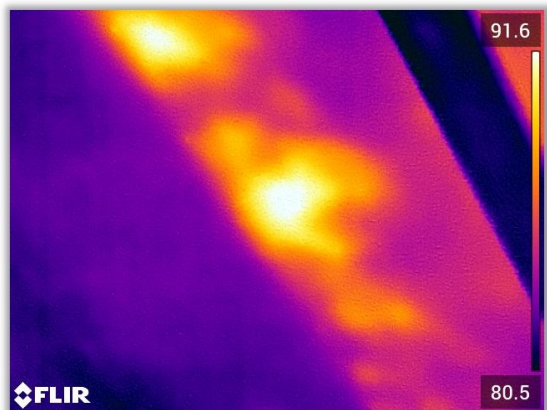
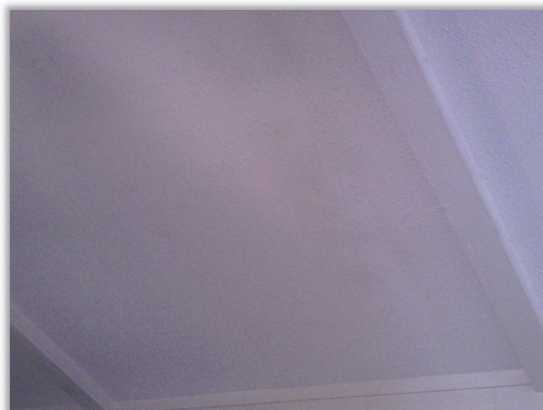
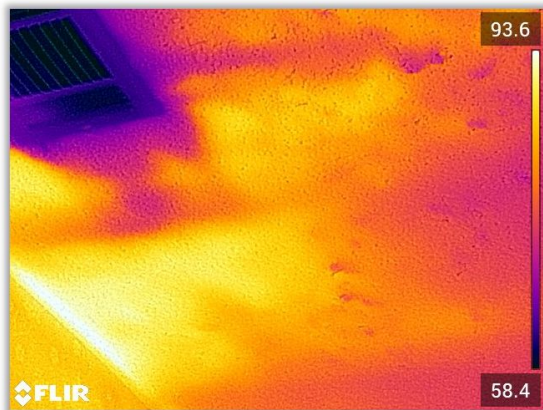
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#### Attic Insulation

- The attic insulation is lower than typical and it is recommended to add additional insulation to achieve at least a R-30 rating.
- The sidewall insulation was observed to be missing in the attic area adjacent to the living room. This condition should be further evaluated and corrected as necessary.
- The attic floor insulation needs to be redistributed in one or more locations.
- The attic floor insulation was observed to be missing over the northeast corner bedroom and hall bathroom area(s).



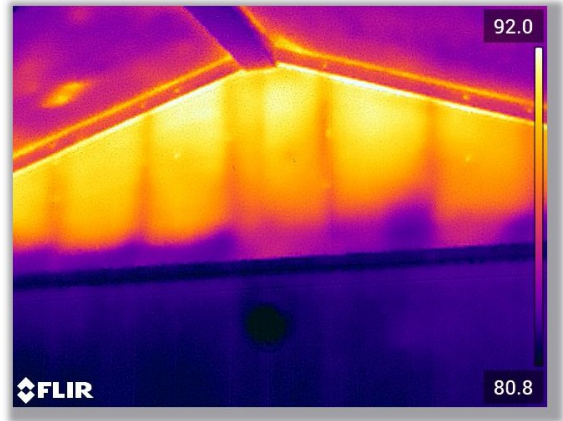
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#### Roof Sheathing

- Some noticeable sags and/or depressions were observed in the roof sheathing (decking).
- Some roof sheathing (decking) deterioration and/or damage was observed in one or more locations.
- **Note:** There are visible water stains on the roof sheathing (decking) in one or more locations.



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**E. Walls (Interior and Exterior)**

*Comments:*

*Description of Exterior Cladding:* Wood Type Veneer and Brick Veneer

**Interior Walls & Surfaces**

**Note:** There is evidence of painting and patching to the interior finish and prior interior finish repairs. This condition could limit the Inspectors visual observations and ability to render accurate opinions as to the performance of the structure.

- Interior wall joint cracks were observed in various locations throughout the house.
- The wall mirror is cracked in the 2nd master bathroom.

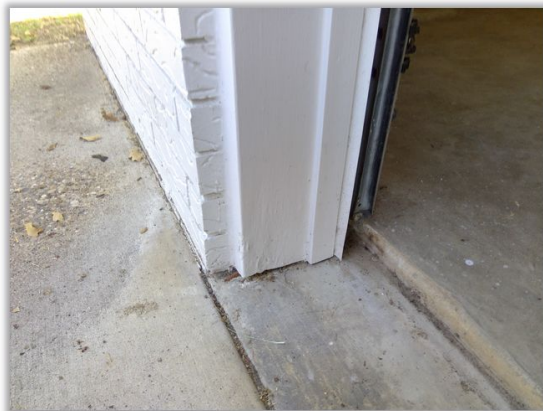
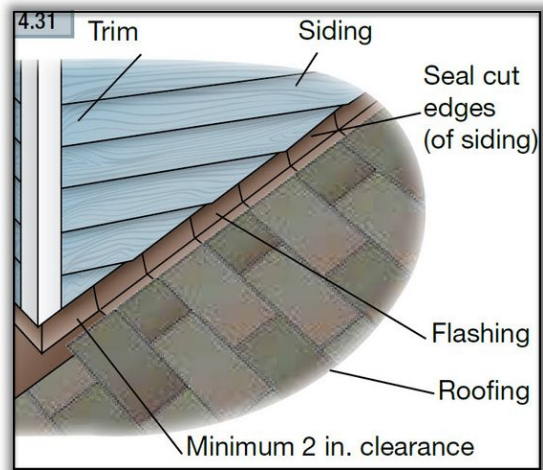


**Exterior Walls & Surfaces**

- The sidewall veneer / cladding is in contact with the roofing material. Under current building standards, there should be at least 2-inch of clearance between the roofing material and the sidewall veneer / cladding.
- The garage door trim has some deterioration and/or damage at the bottom.
- Caulking improvements are recommended for the area between the exterior veneer and the window frames. It is recommended to use an industry approved low-modulus elastomeric sealant.
- The wood veneer trim has some deterioration or damage on the south side of the structure.
- Caulking improvements are recommended for the area between the exterior veneer and the exterior door frames. It is recommended to use an industry approved low-modulus elastomeric sealant.



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#### F. Ceilings and Floors

*Comments:*

##### Floors

- The floor covering is noticeably stained in one or more locations of the home.
- The floor covering is noticeably worn and/or damaged in one or more locations of the home.

##### Ceilings

**Note:** There is evidence of painting and patching to the interior finish and prior interior finish repairs. This condition could limit the Inspectors visual observations and ability to render accurate opinions as to the performance of the structure.

**Note:** Nail heads were observed to be pushing through the interior finish in one or more locations.

- Some of the ceiling finishing material was observed to be sagging in the garage.
- Water stains were observed on the ceiling finish in the garage and water heater area. The cause and remedy should be further evaluated and corrected as necessary.
- The cover to the attic hatch is damaged and/or missing and needs to be repaired and/or replaced for fire-blocking / attic separation reasons.
- Water stains and water damage was observed on the ceiling finishes in the hall bathroom. The cause and remedy should be further evaluated and corrected as necessary.
- The ceiling texture has some deterioration and/or damage in the hall bathroom.



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## G. Doors (Interior and Exterior)

*Comments:*

### Interior Doors

- The door is sticking to the northeast corner bedroom.

### Exterior Doors

- The door is not latching properly to the front entry door and backyard entry door.

### Garage Entry Door

- The garage entry door is not equipped with a self-closing device.  
This may be an "as-built" condition but Per TREC standards of practice we are required to report this condition as a deficiency. After closing, you may consider corrective measures for improved safety.



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#### Overhead Garage Door

- The overhead garage door is not balanced properly and should be tuned-up and/or adjusted as necessary.
- Some minor damage to the overhead garage door was observed.



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#### H. Windows

*Comments:*

##### Window Screens

All components were found to be performing and in satisfactory condition on the day of the inspection.

##### Windows

- The window sash guide is damaged in the northeast corner bedroom.
- One or more of the thermal pane windows were observed to have lost their seals. This has resulted in condensation or a fog like film to develop between the panes of glass. The thermal pane windows no longer function as designed when they lose their seal and replacement may be necessary. The windows that have noticeably lost their seals are listed but may not be limited to the following:  
garage conversion, garage conversion bathroom.

**(Total 4 )**

**Special Notice:** Signs of lost seals in the thermal pane windows may appear and disappear as temperature and humidity changes. Some windows with lost seals may not be evident at the time of this inspection. Windows are checked in a non-exhaustive manner for obvious fogging. When lost thermal pane window seals were noted, we recommend all windows be rechecked by a window specialist for further evaluation prior to the expiration of any time limitations such as option or warranty periods.

- **Note:** The windowsill height in one or more of the bedrooms measured more than 44" from the floor. Under current building standards, these windows are considered to high for a proper emergency egress (escape) exit. The occupants of these bedrooms should be aware of this hazard and be physically able to use this window as an emergency egress exit.

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**I. Stairways (Interior and Exterior)**

*Comments:*

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**J. Fireplaces and Chimneys**

*Comments:*

All components were found to be performing and in satisfactory condition on the day of the inspection.

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**K. Porches, Balconies, Decks, and Carports**

*Comments:*

**Porches**

All components were found to be performing and in satisfactory condition on the day of the inspection.

**Driveway**

All components were found to be performing and in satisfactory condition on the day of the inspection.



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## II. ELECTRICAL SYSTEMS

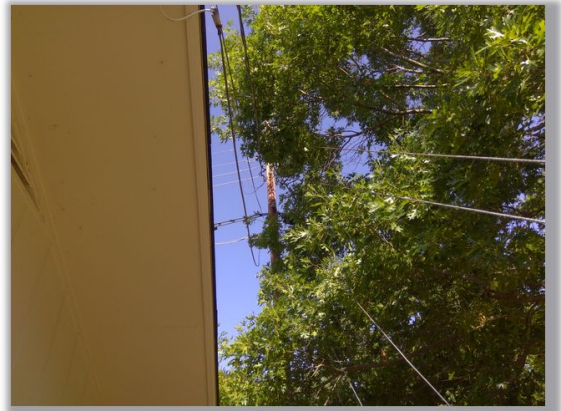
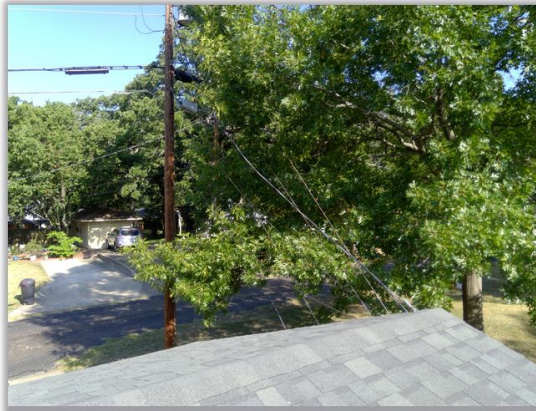
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### A. Service Entrance and Panels

*Comments:*

#### Service Entrance

- The tree branches should be trimmed away from the overhead service wires.



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### Panel Box

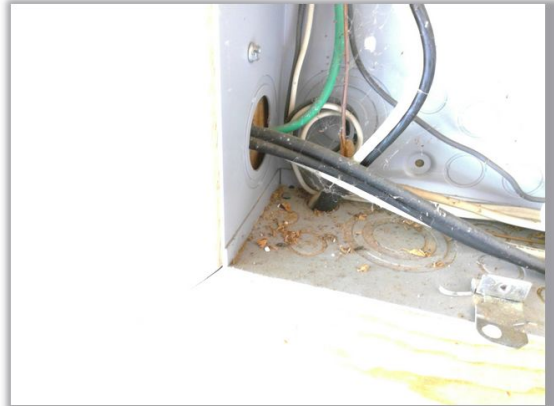
*Box Rating and/or Main Disconnect Rating: 200 amps*

*Box Location: Garage*

*Cabinet Manufacturer: General Electric - GE*

*Branch Circuit Wire Type: Copper*

- The breakers (overcurrent devices) in the electrical panel are not properly labeled.
- There was no main disconnect observed in the panel box.
- The electrical cabinet cover plate (dead front) should be installed with blunt tip screws and not sharp wood type screws for reasons of safety.
- All openings (missing knockouts) in the electrical cabinet cover plate (dead front) and /or cabinet need to have fillers.
- The wires entering the electrical cabinet are not properly secured or protected from the sharp edges of the cabinet.
- One or more of the breaker trip-ties appear to be missing. The split overcurrent devices (breakers) servicing 240V appliances should be connected together by trip-ties.



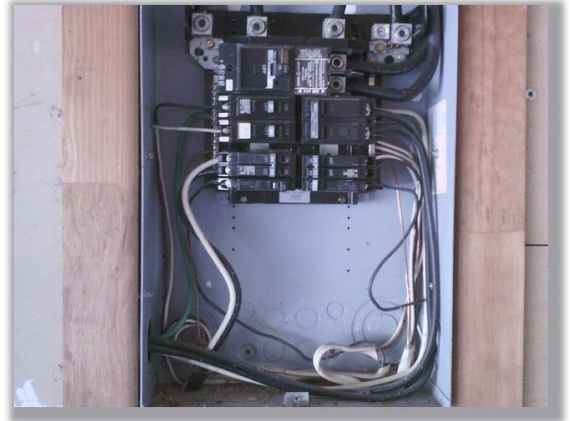
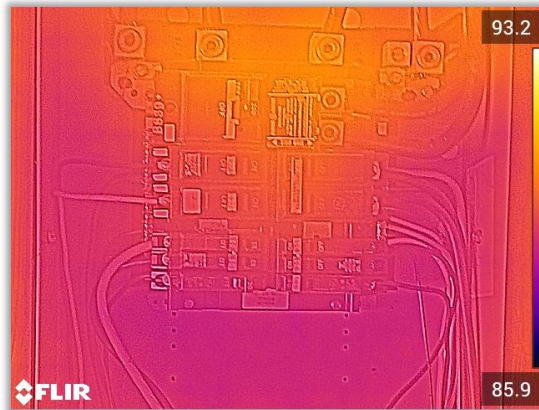
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### Sub Panel

*Box Location:* Interior Clothes Closet

*Cabinet Manufacturer:* Federal Pacific Electric- FPE

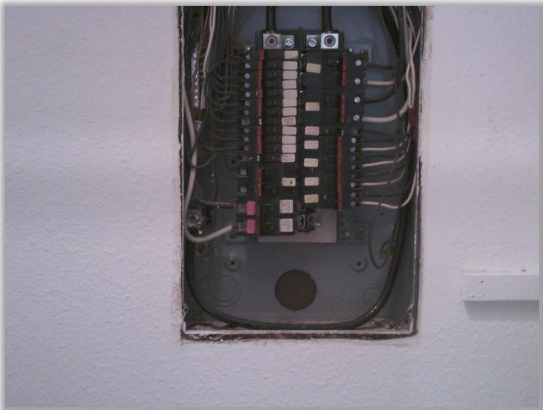
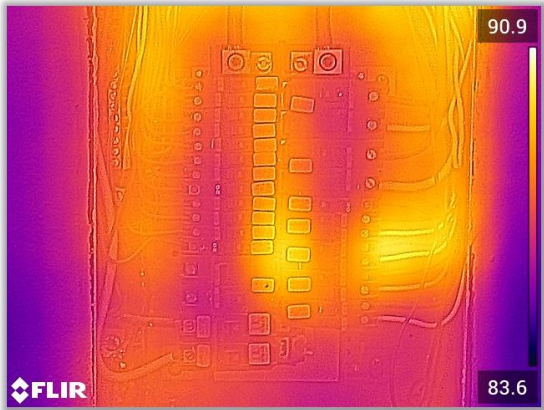
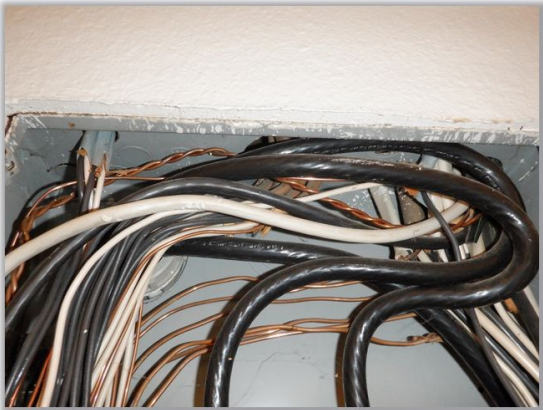
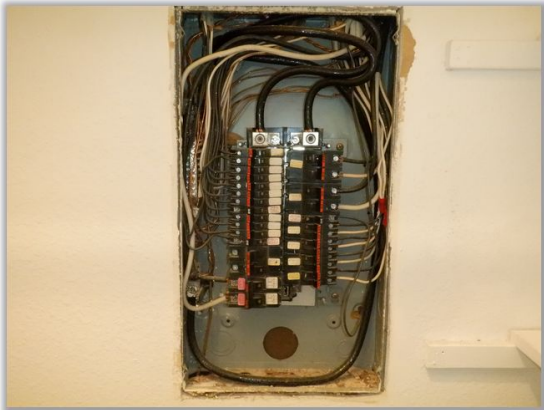
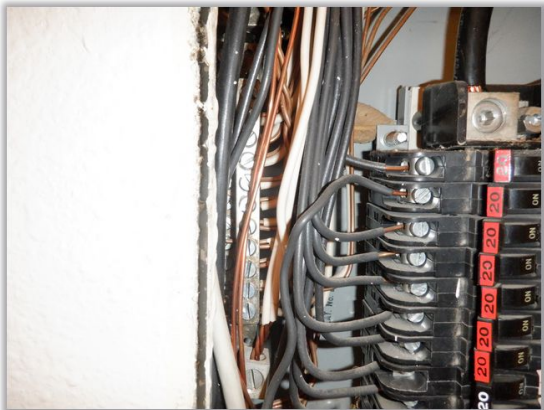
*Branch Circuit Wire Type:* Copper

**Notice:** There is a Federal Pacific Electric - FPE Panel Box in place at the time of the inspection. This panel box is known to have various problems and/or deficiencies. Full evaluation of this panel box is beyond the scope of this inspection. You are strongly encouraged to have the panel box further evaluated by a qualified electrician prior to the expiration of any time limitations such as option or warranty periods. [The estimated cost of replacing the panel is approximately \\$2000 - \\$3000.](#)

- The breakers (overcurrent devices) in the electrical panel are not properly labeled.
- The electrical cabinet cover plate (dead front) should be installed with blunt tip screws and not sharp wood type screws for reasons of safety.
- All openings (missing knockouts) in the electrical cabinet cover plate (dead front) and /or cabinet need to have fillers.
- The foreign debris in the electrical cabinet need to be removed out of the cabinet and/or removed from the electrical components in the electrical cabinet.
- There are multiple neutral wires secured under one lug/screw on the neutral bus bar. This type of installation does not meet current electrical standards. These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been “grandfathered” because they were present prior to the adoption of codes prohibiting such conditions.
- The sub-panel does not appear to have a four-wire service feed. Although the sub-panel is functional, it does not meet current National Electrical Code standards. This is an “as-built” condition but Per TREC standards of practice we are required to report this condition as a deficiency.
- The electrical panel is located in a clothes closet. Under current electrical standards, this is no longer an accepted practice. This is an “as-built” condition but Per TREC standards of practice we are required to report this condition as a deficiency.



I=Inspected	NI=Not Inspected	NP=Not Present	D=Deficient
I	NI	NP	D



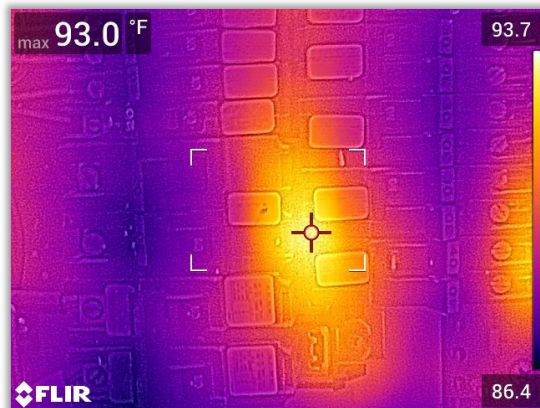
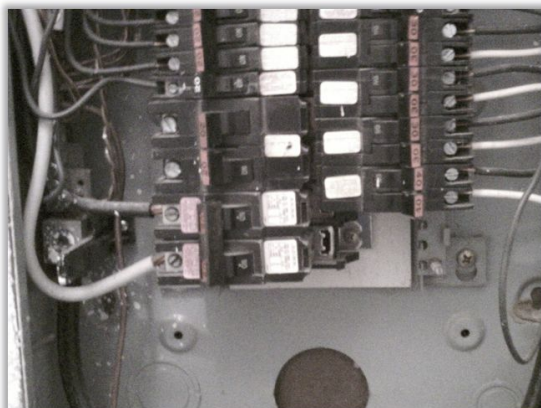
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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#### Distribution Wiring

- Spliced electrical wires were observed in the attic area. Spliced wires in the attic should be properly enclosed in junction box(es) and secured to the ceiling joist. Spliced wires were located over the garage.
- Spliced wires were observed in the water heater closet. The spliced wires need to be properly enclosed in an electrical junction box for reasons of safety.
- All exposed distribution wiring should be properly enclosed in conduit. Exposed wiring was observed in the kitchen cabinet below the cooktop, kitchen cabinet above the cooktop and water heater closet.





I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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#### Grounding / Bonding

All components appear to be performing adequately at the time of this inspection.

They are achieving an operation, function or configuration relative to accepted industry standard practices with consideration of age and normal wear and tear from ordinary use.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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## B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

### Receptacle Outlets

- One or more of the receptacles is missing its cover plate in the garage ceiling.
- Wires cross connected at the receptacles on the back porch north wall. This circuit needs to be further evaluated.
- One or more of the receptacles appear to have reversed polarity (i.e. it is wired backwards). This receptacle(s) and the circuit should be investigated and improved as necessary. The receptacle(s) in question are located in the 2nd master bathroom.
- **Note:** Several of the receptacles have been painted over.
- The receptacles in the wet/damp areas do not appear to have ground fault circuit interrupter (GFCI) protection.

Under current electrical standards all 125-volt through 250-volt receptacles installed in bathrooms, garages, accessory buildings, outdoors, crawl space areas, unfinished basements, serving kitchen countertops, within 6-feet of a sinks, bathtub and shower stall areas, laundry areas, indoor damp and wet locations, kitchen dishwasher branch circuits, boathouses, boat hoist and electrically heated floors should have GFCI protection.

This may be an "as-built" condition but Per TREC standards of practice we are required to report this condition as a deficiency. After closing, you may consider corrective measures for improved safety.

- The receptacles in place are not listed as tamper-resistant type receptacles. Under current building standards all 15- and 20-ampere, 125- and 250-volt nonlocking-type receptacles located less than 5.5 feet above the floor should be listed tamper-resistant type receptacles.

This may be an "as-built" condition but Per TREC standards of practice we are required to report this condition as a deficiency. After closing, you may consider corrective measures for improved safety.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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#### Switches

All components were found to be performing and in satisfactory condition on the day of the inspection.

#### Fixtures

- One or more of the closet light fixtures appear to be installed without globes and/or covers. Safety precautions should be taken around these light fixtures.
- One or more of the light fixtures are loose at the ceiling mount in the master bedroom closet.
- The ceiling fan is not balanced properly and wobbles when operated in the living room.

#### Smoke Alarms

- One or more of the smoke alarms are loose at its mounting in the master bedroom.
- An audible sound can be heard from one or more of the smoke detectors, indicating that the batteries need to be changed. It is recommended to replace the batteries in all of the smoke detectors once a year for reasons of safety.

#### Carbon Monoxide Alarms

- I was unable to locate a carbon monoxide alarm in the immediate vicinity of the bedrooms.

#### Doorbell / Chime

- The doorbell and/or associated components appear to be inoperative.

#### Arc-Fault Circuit Interrupter Protection (AFCI)

- None of the required dwelling unit devices such as switches, receptacles, fixtures and electrical outlets are connected to an arc-fault circuit-interrupter (AFCI) circuit device. Under the current electrical installation standards, branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreations rooms, closets, hallways, laundry areas and similar rooms or areas should have AFCI protection.

This may be an "as-built" condition but Per TREC standards of practice we are required to report this condition as a deficiency. After closing, you may consider corrective measures for improved safety.

**Notice:** Several items listed in this section of the report may not have violated building codes or common practices in effect when the home was constructed. Such conditions that were part of the home prior to the adoption of any current codes do not require them to be updated to meet current code requirements.

Items identified as Deficient (D) in an inspection report DO NOT OBLIGATE any party to make repairs or take other actions. The decision to correct items listed as deficient in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

Items listed in this section may be an "as-built" condition but Per TREC standards of practice inspectors are required to report the condition as a deficiency. After closing, you may consider corrective measures for improved safety.

I=Inspected

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D=Deficient

I NI NP D

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

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#### A. Heating Equipment

Type of Systems:

Energy Sources:

Comments:

**Central Heating System** – Energy Source: Electric

Brand Name: Carrier

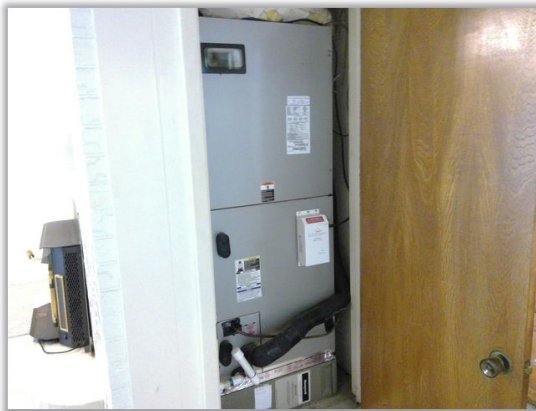
Approximate System Age: 2013

This component appears to be performing adequately at the time of this inspection.

It is achieving an operation, function or configuration relative to accepted industry standard practices with consideration of age and normal wear and tear from ordinary use.

#### Additional Observations and/or Comments:

- The electrical branch wires are not properly secured to the heater housing.
- The exposed electrical service wires to the heating equipment should be enclosed in conduit.





I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

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**B. Cooling Equipment***Type of Systems:**Comments:***Central Cooling System***Today's Temperature Differential (Delta-T):* 12*Approximate System Age:* **2013***Approximate System SEER:* **12***Approximate System Size:* **4 ton***Listed Refrigeration Type:* **410A***Filter Size:* **20 x 20** *Location:* **At Interior Closet Unit***Brand Name:* Carrier

The HVAC system and equipment needs to be checked and serviced by a Qualified / Licensed HVAC Technician. The observations made to support the rendering of this opinion are listed but may not be limited to the following:

- **The temperature drop measured across the evaporative coils of the air conditioning system is lower than considered typical. The unit is not cooling properly and servicing is needed.**
- The evaporator coils were observed to be dirty and require cleaning.
- The electrical service disconnect is installed behind the outside condenser/coil. This does not meet the clearance requirements of the National Electrical Code or the International Residential Code and should be corrected as necessary.
- The manufacturers listing plate on the outside condenser/coil list that the maximum over current device (breaker) to be used should not exceed 40-amp. There is a 50-amp breaker in place at this time. This breaker in place does not meet the manufacturers listing plate requirements.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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**Note:** When D (**D = Deficient**) is checked, it is recommended that this item be fully investigated by a Qualified / Licensed HVAC Technician, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the integrity of the equipment.

**Notice:** Temperature differential readings (Delta-T) are an accepted industry standard of practice for measuring proper cooling performance of the air conditioning system. Our company policy normal acceptable range is considered approximately **between 15 to 22 degrees °F** total difference (Delta-T) measured between the return air and supply air within close proximity of the related coils of the system being evaluated. Conditions such as but not limited to; excessive humidity, high or low outdoor temperatures or restricted airflow may indicate abnormal operation even through the equipment is functioning basically as designed and occasionally may indicate normal operation despite an equipment malfunction. *The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component.*

I=Inspected

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D=Deficient

I	NI	NP	D
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**C. Duct Systems, Chases, and Vents**

*Comments:*

- The duct system was observed to be dirty and needs to be cleaned for air quality purposes.
- Air leaks were detected at and around the ductwork connections and the distribution plenum(s).
- Ductwork insulated covering was observed to be damaged and/or pulling loose.
- Some of the ductwork in the attic area has been turned to sharply. This will restrict the airflow through the duct system and affect the airflow balance in some areas of the house.
- The ducts in the attic space are not properly stretched out and supported. This will restrict the airflow through the duct system and affect the airflow balance in some areas of the house.
- **Note:** The air-return chase for the HVAC system is dirty and should be cleaned to help maintain good air quality.
- **Note:** The covering on the ductwork that is in place has been known to deteriorate with direct and/or indirect UV light. This item should be closely monitored and corrected as necessary.





I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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#### IV. PLUMBING SYSTEM

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##### A. Plumbing Supply, Distribution Systems and Fixtures

*Location of Water Meter:* Within 5-feet of Front Curb

*Location of Main Water Supply Valve:* Unable to Locate a Main Supply Valve

*Static Water Pressure Reading:* 50 to 60 psi

*Type of Supply Piping Material:* Copper or Copper-Alloy Pipe

*Comments:*



##### Water Meter

Water meter component was in satisfactory condition on the day of the inspection.

There was no visible movement or changes in the meter reading at the time of this inspection.

- The meter is covered with dirt. I was unable to observed the water meter at the time of this inspection.





I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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**Exterior Faucets/Fixtures**

- The exterior water hose bibb (faucet) is leaking at the handle when operated on the north and south sides of the structure.



**Laundry Connections**

- Some rust and/or corrosion was observed at the laundry connection hose bibbs.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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#### Kitchen Sink

- **Note:** Some corrosion was observed at one and/or both of the water supply shutoff valves.
- **Note:** Previous water leaks were observed at and/or around the drain connections under the sink. This would indicate previous problems and should be closely monitored and corrected when necessary.



#### Master Bathroom

##### *Lavatory / Sink*

- The sink was observed to drain slowly, suggesting that an obstruction may exist.

##### *Shower*

- Cracked, deteriorated and/or missing shower stall grout and/or caulking should be repaired or replaced as necessary.
- Some of the shower enclosure tiles were observed to be cracked.
- The faucet leaks at the handle when on.



I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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### Hall Bathroom

All components were found to be performing and in satisfactory condition on the day of the inspection.

### 2nd Master Bathroom

#### Bathtub

- The faucet leaks at the handle when on.

#### Lavatory / Sink

- The drain leaks water into the cabinet when drained under pressure with a large volume of water.



Notice: The Inspector has attempted to discover and report conditions requiring further evaluation or repair. However; determining the type of supply piping and determining the condition of any component that is not visible and/or accessible, such as plumbing components that are buried, beneath the foundation, located within construction voids or otherwise concealed, and reporting any deficiency that does not appear or become evident during our limited cursory and visual survey is outside the scope of this inspection. **The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component.**

I=Inspected	NI=Not Inspected	NP=Not Present	D=Deficient
I	NI	NP	D

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**B. Drains, Wastes, and Vents**  
*Type of Drain Piping Material:* PVC - Polyvinyl Chloride  
*Location of Main Cleanout:* Unable to Locate a Main Clean-out for Building  
*Comments:*

The drains, wastes and vent pipe components appear to be performing adequately on the day of this inspection. After running water at accessible plumbing fixtures, there was no apparent blockage or slow draining observed. The DWV are achieving the operation, function or configuration relative to accepted industry standard practices with consideration of age and normal wear and tear from ordinary use.

**Notice:** Reporting the condition of drains, wastes and vent piping that is not completely visible and/or accessible or; reporting any defect or deficiency that requires extended use of the system to develop or does not become evident during our limited cursory and visual survey is outside the scope of the inspection. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection. *The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component.*



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I	NI	NP	D
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### C. Water Heating Equipment

*Energy Sources:*

*Capacity:*

*Comments:*

**Water Heater – Energy Source: Electric**

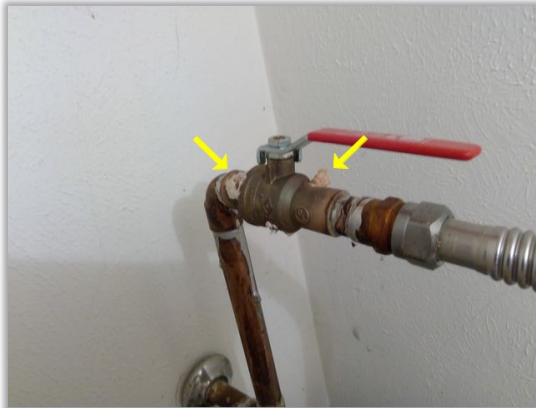
*Location: Interior Closet*

*Approximate Capacity: 55 Gallons*

*Approximate Age: 2011 Approximate Design Life: 15 years*

*Brand Name: Reliance*

- The electrical wiring to the water heater is exposed and should be enclosed in conduit.
- There is no pan installed under the water heater.
- The exterior temperature and pressure relief (TPR) discharge pipe does not terminate at the proper height over the finished grade (ground). The TPR should terminate not more than 6 inches and not less than two times the discharge pipe diameter above the floor or waste receptor flood level rim.
- The exterior termination point of the temperature and pressure relief (TPR) valve discharge pipe is missing its 90-degree elbow. The TPR discharge pipe should turn 90-degrees downward and terminate within 6-inches of the ground.
- Some corrosion was observed on the water supply shutoff valve.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



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**D. Hydro-Massage Therapy Equipment**

*Comments:*

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**E. Gas Distribution Systems and Gas Appliances**

*Location of Gas Meter: N/A*

*Type of Gas Distribution Piping Material: N/A*

*Comments:*

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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## V. APPLIANCES

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### A. Dishwashers

*Comments:*

**Brand Name:** Maytag

- The dishwasher appears to have reached the end of its serviceable life expectancy.
- Some rusting of the dishwasher interior components was observed.
- The dishwasher leaked water onto the floor when operated. This condition should be further evaluated and corrected as necessary.

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### B. Food Waste Disposers

*Comments:*

- The splashguard for the food waste disposer is damaged and/or missing.
- The electrical wiring to the food waste disposer is not properly secured to the disposer housing.





I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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### C. Range Hood and Exhaust Systems

*Comments:*

- The cooktop exhaust is terminated against the wall just above the exhaust. The exhaust does not perform or move air. This condition does not meet current mechanical installation standards.



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### D. Ranges, Cooktops, and Ovens

*Comments:*

#### Cooktop

**Brand Name:** Maytag

This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function or configuration relative to accepted industry standard practices with consideration of age and normal wear and tear from ordinary use.

#### Range

**Brand Name:** General Electric – GE

- The clock/timer is inoperative.

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### E. Microwave Ovens

*Comments:*

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### F. Mechanical Exhaust Vents and Bathroom Heaters

*Comments:*

- One or more of the bathrooms are not equipped with a mechanical exhaust vent. Master Bath Under current building standards, all bathrooms are required to have mechanical exhaust ventilation.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

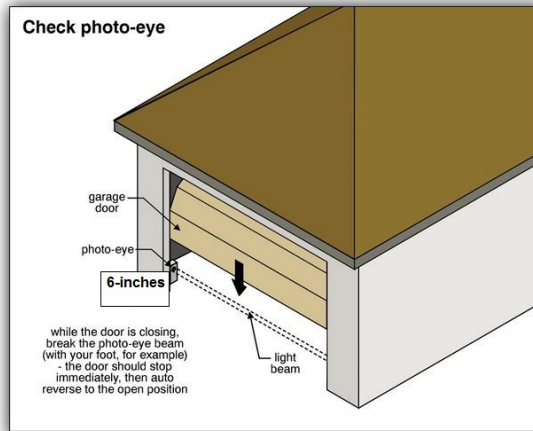
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## G. Garage Door Operators

Comments:

- The garage door opener button is poorly located. The garage door opener button should be installed on the opener side of the wall and within unobstructed view of the garage door.
- The garage door opener button should be installed at least 5-feet the floor of the garage, so to be out of the reach of children.
- When an automatic garage door opener is in use, the manual lock should be disabled or removed.
- The garage door reverse sensors are not properly installed. The garage door reverse sensors should be installed within 6-inches of the garage floor.



I=Inspected	NI=Not Inspected	NP=Not Present	D=Deficient
I	NI	NP	D

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**H. Dryer Exhaust Systems**

*Comments:*

- The dryer exhaust duct (vent pipe) is dirty and needs to be cleaned.
- The material used for the dryer duct is not listed or labeled for this type of installation. The duct material should be metal with a smooth interior surface.





I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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## VI. OPTIONAL SYSTEMS

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### A. Outbuildings

*Comments:*



#### **Foundation Is Performing Adequately**

In my opinion, the foundation appears to be providing adequate support for the structure at the time of this inspection. I did not observe any apparent evidence that would indicate the presence of adverse performance or significant deficiencies in the foundation. The interior and exterior stress indicators showed little effects of adverse performance and I perceived the foundation to contain no significant unlevelness after walking the 1st level floors.

#### **Grading & Drainage**

The grading and drainage around the foundation appears to be performing adequately on the day of this inspection. The grade around the foundation appears to be shedding water and achieving the operation, function or configuration relative to accepted industry standard practices.

#### **Roof Covering**

All components appear to be performing adequately on the day of this inspection. The roofing material components appear to be shedding water and achieving the operation, function or configuration relative to accepted industry standard practices with consideration of age and normal wear and tear from ordinary use.

I=Inspected	NI=Not Inspected	NP=Not Present	D=Deficient
I	NI	NP	D

**Roof Structure**

All components appear to be performing adequately at the time of this inspection. They are achieving an operation, function or configuration relative to accepted industry standard practices with consideration of age and normal wear and tear from ordinary use.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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### Interior Walls & Surfaces

All components were found to be performing and in satisfactory condition on the day of the inspection.

### Exterior Walls & Surfaces

- The exterior veneer / cladding has some deterioration and/or damage on the north, east, west and south sides of the structure.
- The wood veneer trim has some deterioration or damage on the north, east, west and south sides of the structure.



### Wood Destroying Insect Information

Evidence of active and/or previous activity of a wood-destroying insect was detected at the time of this inspection. Full evaluation of the amount of damage caused by the insects cannot be detected within the wall voids or other hidden areas without defacing the property and cannot be addressed in this inspection report. With the detection of active and/or previous activity of a wood destroying insect, it should be assumed that some degree of damage is present.

Carpenter ants observed in both of the south facing windows.



I=Inspected	NI=Not Inspected	NP=Not Present	D=Deficient
I	NI	NP	D

**Ceilings**

All components were found to be performing and in satisfactory condition on the day of the inspection.

**Exterior Doors**

- The exterior door frame has some deterioration and/or damage.

**Windows**

All components were found to be performing and in satisfactory condition on the day of the inspection.

**Window Screens**

- One or more of the window screens were observed to be damaged.



I=Inspected

NI=Not Inspected

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D=Deficient

I	NI	NP	D
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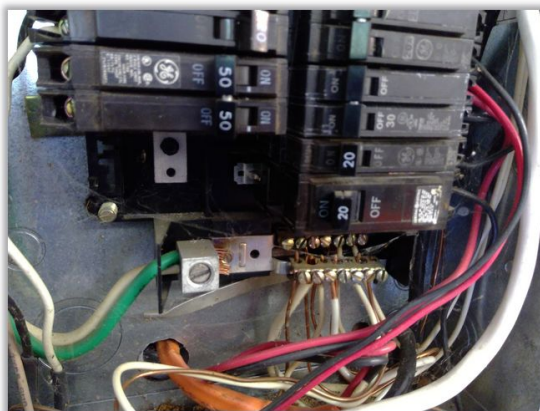
### Sub Panel

*Box Location:* Out Building

*Cabinet Manufacturer:* General Electric - GE

*Branch Circuit Wire Type:* Copper

- The wires entering the electrical cabinet are not properly secured or protected from the sharp edges of the cabinet.
- The ground wires and the neutral wires are not properly separated in the sub-panel electrical cabinet. The neutral wires should be on their own isolated bus bar and the ground wires should be connected to the sub-panel cabinet. Although the sub-panel is functional, it does not meet current National Electrical Code standards.



I=Inspected

NI=Not Inspected

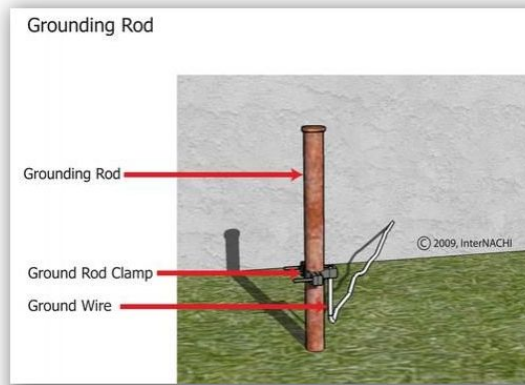
NP=Not Present

D=Deficient

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### Grounding / Bonding

- I was unable to locate a grounding rod (Grounding Electrode) or supplement grounding source for the electrical system. This condition should be further investigated and corrected if necessary.



### Receptacle Outlets

- The outbuilding receptacles do not appear to be connected to a ground fault circuit interrupter (GFCI) device. Under current electrical standards, all 125-volt through 250-volt receptacles should have GFCI protection.

### Fixtures

- The ceiling fan is not balanced properly and wobbles when operated.



## TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT

*Rule §7.176 Requires this department prescribed form to be used for real estate transactions in Texas regarding the visible presence or absence of wood destroying insects and conditions conducive to infestations of wood destroying insects.*

Address \_\_\_\_\_

Inspected Address

City \_\_\_\_\_

City

00000 \_\_\_\_\_

Zip Code

**SCOPE OF INSPECTION / AGREEMENT**

- A. This inspection covers only the multi-family structure, primary dwelling or place of business. Sheds, detached garages, lean-tos, fences, guest houses or any other structure will not be included in this inspection report unless specifically noted in Section 5 of this report.
- B. This inspection is limited to those parts of the structure(s) that are visible and accessible at the time of the inspection. Examples of inaccessible areas include but are not limited to (1) areas concealed by wall coverings, furniture, equipment and stored articles and (2) any portion of the structure in which inspection would necessitate removing or defacing any part of the structure(s) (including the surface appearance of the structure). **Inspection does not cover any condition or damage which was not visible in or on the structure(s) at time of inspection but which may be revealed in the course of repair or replacement work.**
- C. Due to the characteristics and behavior of various wood destroying insects, it may not always be possible to determine the presence of infestation without defacing or removing parts of the structure being inspected. Previous damage to trim, wall surface, etc., is frequently repaired prior to the inspection with putty, spackling, tape or other decorative devices. Damage that has been concealed or repaired may not be visible except by defacing the surface appearance. **The WDI inspecting company cannot guarantee or determine that work performed by a previous pest control company, as indicated by visual evidence of previous treatment, has rendered the pest(s) inactive.**
- D. If visible evidence of active or previous infestation of listed wood destroying insects is reported, it should be assumed that some degree of damage is present.
- E. If visible evidence is reported, it does not imply that damage should be repaired or replaced. Inspectors of the inspection company usually are not engineers or builders qualified to give an opinion regarding the degree of structural damage. Evaluation of damage and any corrective action should be performed by a qualified expert.
- F. **THIS IS NOT A STRUCTURAL DAMAGE REPORT OR A WARRANTY AS TO THE ABSENCE OF WOOD DESTROYING INSECTS.**
- G. If termite treatment (including pesticides, baits or other methods) has been recommended, the treating company must provide a diagram of the structure(s) inspected and proposed for treatment, label of pesticides to be used and complete details of warranty (if any). At a minimum, the warranty must specify which areas of the structure(s) are covered by warranty, renewal options and approval by a certified applicator in the termite category. Information regarding treatment and any warranties should be provided by the party contracting for such services to any prospective buyers of the property. The inspecting company has no duty to provide such information to any person other than the contracting party.
- H. There are a variety of termite control options offered by pest control companies. These options will vary in cost, efficacy, areas treated, warranties, treatment techniques and renewal options.
- I. There are some specific guidelines as to when it is appropriate for corrective treatment to be recommended. Corrective treatment may only be recommended if (1) there is visible evidence of an active infestation in or on the structure, (2) there is visible evidence of a previous infestation with no evidence of a prior treatment.
- J. If treatment is recommended based solely on the presence of conducive conditions, a preventive treatment or correction of conducive conditions may be recommended. The buyer and seller should be aware that there may be a variety of different strategies to correct the conducive condition(s). These corrective measures can vary greatly in cost and effectiveness and may or may not require the services of a licensed pest control operator. There may be instances where the inspector will recommend correction of the conducive conditions by either mechanical alteration or cultural changes. Mechanical alteration may be in some instances the most economical method to correct conducive conditions. If this inspection report recommends any type of treatment and you have any questions about this, you may contact the inspector involved, another licensed pest control operator for a second opinion, and/or the Structural Pest Control Service of the Texas Department of Agriculture.



**TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT**

Address \_\_\_\_\_ City \_\_\_\_\_ 00000 \_\_\_\_\_  
Inspected Address City Zip Code

1A. **ACME PEST CONTROL** 1B. **566069**  
Name of Inspection Company SPCS Business License Number

1C. **801-C Secretary** **Arlington** **Texas** **76015** **817-467-0213**  
Address of Inspection Company City State Zip Telephone No.

1D. **Brian Murphy** 1E. Certified Applicator ☐ (check one )  
Name of Inspector (Please Print) Technician ☒

1F. **Thursday, Date Here**  
Inspection Date

2. **Client Name Here** Seller ☐ Agent ☐ Buyer ☒ Management Co. ☐ Other ☐  
Name of Person Purchasing Inspection

3. **N/A**  
Owner/Seller

4. REPORT FORWARDED TO: Title Company or Mortgagee ☐ Purchaser of Service ☐ Seller ☐ Agent ☒ Buyer ☒  
(Under the Structural Pest Control regulations only the purchaser of the service is required to receive a copy)

The structure(s) listed below were inspected in accordance with the official inspection procedures adopted by the Texas Structural Pest Control Service. This report is made subject to the conditions listed under the Scope of Inspection. A diagram must be attached including all structures inspected.

5. List structure(s) inspected that may include residence, detached garages and other structures on the property. (Refer to Part A, Scope of Inspection): \_\_\_\_\_  
☒ Main House (Excluding all Detached Structures, Sheds, Shrubs, Trees, Barns, Fences and Decks)  
☐ Main House & Detached Garage (Excluding all other Detached Structures, Sheds, Shrubs, Trees Barns, Fences and Decks)  
☐ Other Inspected Structures:

5B. Type of Construction:  
 Foundation: Slab ☒ Pier and Beam ☐ Pier Type: N/A Basement ☐ Other ☐ N/A  
 Siding: Wood ☒ Fiber Cement Board ☒ Brick ☐ Stone ☐ Stucco ☐ Other ☐ N/A  
 Roof: Composition ☒ Wood Shingle ☐ Metal ☐ Tile ☐ Other ☐ N/A

6A. This company has treated or is treating the structure for the following wood destroying insects: **NO TREATMENT PERFORMED AT THIS TIME**  
 If treating for subterranean termites, the treatment was: Partial ☐ Spot ☐ Bait ☐ Other ☐ N/A ☒  
 If treating for drywood termites or related insets, the treatment was: Full ☐ Limited ☐ N/A ☒

6B. N/A N/A N/A  
Date of Treatment by Inspecting Company Common Name of Insect Name of Pesticide, Bait or Other Method  
 This company has a contract or warranty in effect for control of the following wood destroying insects:  
 Yes ☐ No ☒ List Insects: **ACME PEST CONTROL CARRIERS NO WARRANTY ON THIS**  
**PROPERTY EXPRESSED OR IMPLIED.**

**If "Yes", copy(ies) of warranty and treatment diagram must be attached.**

Neither I nor the company for which I am acting have had, presently have, or contemplate having any interest in the purchase of sale of this property. I do further state that neither I nor the company for which I am acting is associate in any way with any party to this real estate transaction.

Signatures:

7A. **Brian Murphy #561188**  
Inspector (Technician or Certified Applicator Name and License Number)

Others Present:

7B. **N/A**  
Apprentices, Technicians, or Certified Applicators (Names) and Registration/License Number(s)

Notice of Inspection Was Posted At or Near:

8A. Electric Breaker Box ☐ 8B. Date Posted: Date Here  
 Water Heater Closet ☐  
 Beneath the Kitchen Sink ☒

<u>Address</u>	<u>City</u>	<u>00000</u>
Inspected Address	City	Zip Code

Attic	<input type="checkbox"/>	Plumbing Areas	<input checked="" type="checkbox"/>	Planter box abutting structure	<input type="checkbox"/>	Slab Joints	<input checked="" type="checkbox"/>
Attic Partially Accessible	<input checked="" type="checkbox"/>	Bath-trap(s)	<input checked="" type="checkbox"/>	Below or Behind High Soil Grade	<input type="checkbox"/>	Cracks in Slab	<input checked="" type="checkbox"/>
Insulated areas of attic	<input checked="" type="checkbox"/>	Construction Voids	<input checked="" type="checkbox"/>	Wood Pile in Contact with Structure	<input type="checkbox"/>	Crawl Space	<input type="checkbox"/>
Inside Eaves	<input checked="" type="checkbox"/>	Recent Renovation(s)	<input checked="" type="checkbox"/>	Behind Personal Effects / Furniture	<input checked="" type="checkbox"/>	Sub Floors	<input type="checkbox"/>
Deck	<input type="checkbox"/>	Blocked/Stored Areas	<input checked="" type="checkbox"/>	Debris Piled Next to Structure	<input type="checkbox"/>	Weepholes	<input type="checkbox"/>
Behind Storage in Garage	<input type="checkbox"/>	Under Floor Covering	<input checked="" type="checkbox"/>	Crawl Space Partially Accessible	<input type="checkbox"/>	Heavy Foliage	<input type="checkbox"/>
Raised Concrete, Brick and/or Stone at Patio/Porch(s)	<input type="checkbox"/>			Behind Bathroom Tile Enclosures	<input checked="" type="checkbox"/>		
Behind Foundation Beam Cosmetic Repair			<input checked="" type="checkbox"/>	Behind Cabinetry	<input checked="" type="checkbox"/>		
Behind Wood Paneling (Wall Covering)			<input checked="" type="checkbox"/>	Foundation Corner Pops	<input checked="" type="checkbox"/>		
Foundation Plumbing Penetrations			<input checked="" type="checkbox"/>				
Other	<input type="checkbox"/>	Specify:					

Wood to Ground Contact (G)	<input type="checkbox"/>	Standing Water in Crawl Space (SW)	<input type="checkbox"/>	Wood Pile in Contact with Structure or within Dripline (Q)	<input type="checkbox"/>
Formboards left in place (I)	<input type="checkbox"/>	Planter box abutting structure (O)	<input type="checkbox"/>	Wooden Fence in Contact with the Structure (R)	<input type="checkbox"/>
Excessive Moisture (J)	<input type="checkbox"/>	Debris under or around structure (K)	<input type="checkbox"/>	Footing soil line too high (L)	<input type="checkbox"/>
Footing soil line too low (L)	<input type="checkbox"/>	Insufficient ventilation (T)	<input type="checkbox"/>	Tree Branches in Contact with Roof Structure (TB)	<input type="checkbox"/>
Heavy Foliage (N)	<input type="checkbox"/>	Wood Rot (M)	<input type="checkbox"/>	Flowerbed Wood Formers within Dripline (F)	<input type="checkbox"/>
Other (C)	<input checked="" type="checkbox"/>	Specify Other: _____			

Other: Wood Fence within Drip Line (Conductive by Design) (WF)	<input type="checkbox"/>
Other: Wood Deck in Contact with Structure (Conductive by Design) (WD)	<input type="checkbox"/>
Other: Planter Box abutting Structure (Conductive by Design) (OD)	<input type="checkbox"/>
Other: Wood in concrete expansion joints. (Conductive by Design)	<input checked="" type="checkbox"/>
Other: Plumbing penetrations (Conductive by Design)	<input checked="" type="checkbox"/>

11. Inspection Reveals Visible Evidence in or on the structure:	Active Infestation		Previous Infestation		Previous Treatment	
11A. Subterranean Termites	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
11B. Drywood Termites	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
11C. Formosan Termites	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
11D. Carpenter Ants	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
11E. Other Wood Destroying Insects	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

11F. Explanation of signs of previous treatment (including pesticides, baits, existing treatment stickers or other methods) identified:  
N/A

11G. Visible evidence of: N/A has been observed in the following areas: N/A

If there is visible evidence of active or previous infestation, it must be noted. The type of insect(s) must be listed on the first blank and all identified infested areas of the property inspected must be noted in the second blank. (Refer to Part D, E & F, Scope of Inspection)

12A. Corrective treatment recommended for active infestation or evidence of previous infestation with no prior treatment

as identified in Section 11. (Refer to Part G, H and I, Scope of Inspection) Yes ☐ No ☒

12B. A preventive treatment and/or correction of conducive conditions as identified in 10A & 10B is recommended as follows: Yes ☐ No ☒

Specify reason: N/A

Refer to Scope of Inspection Part J

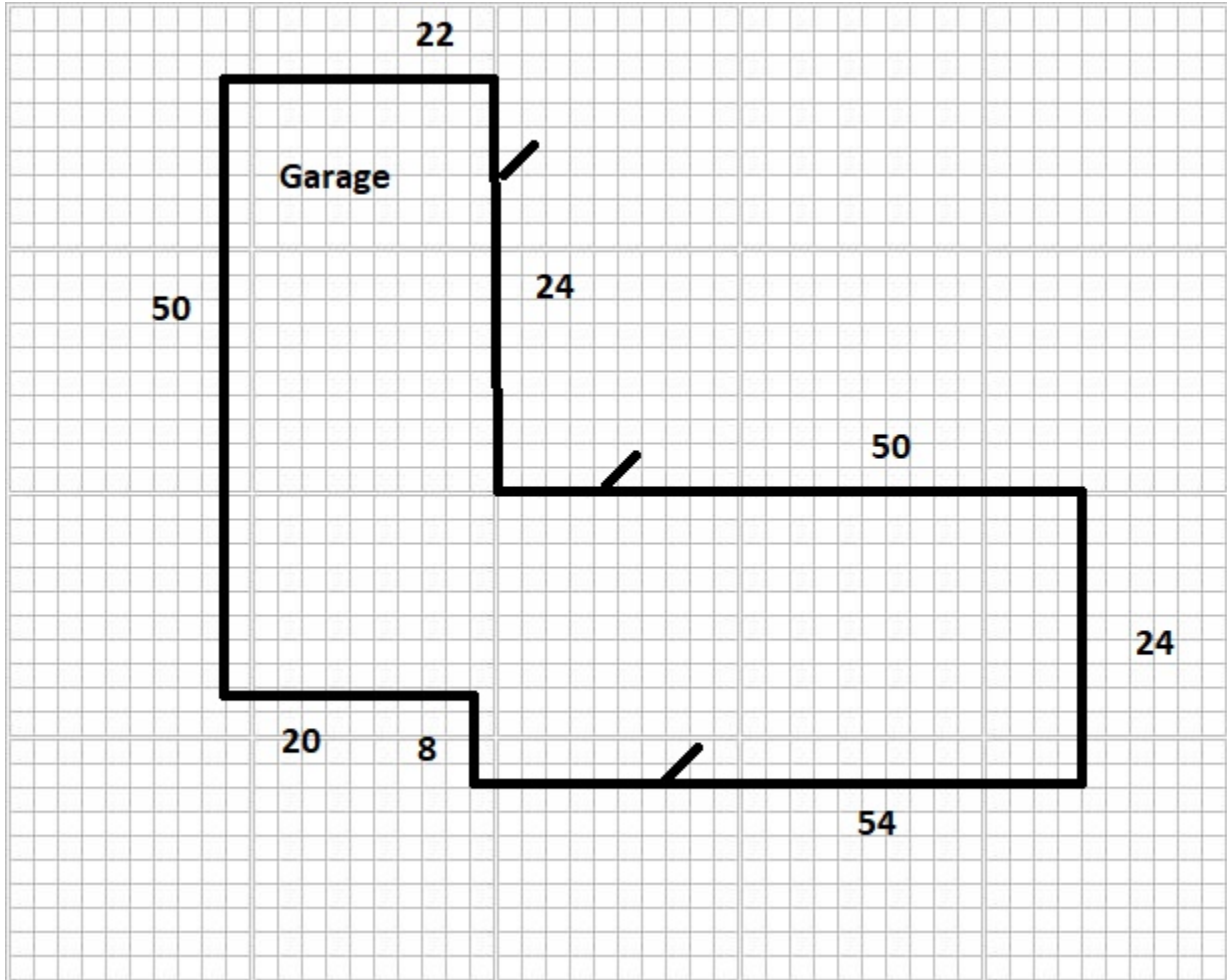
# TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT

Address \_\_\_\_\_ City \_\_\_\_\_ 00000  
Inspected Address City Zip Code

## Diagram of Structure(s) Inspected

The inspector must draw a diagram including approximate perimeter measurements and indicate active or previous infestation and type of insect by using the following codes: E-Evidence of infestation; A-Active; P-Previous; D-Drywood Termites; S-Subterranean Termites; F-Formosan Termites; C-Conducive Conditions; B-Wood Boring Beetles; H-Carpenter Ants;

Other(s) - Specify \_\_\_\_\_



Additional Comments There is no visible evidence of active wood destroying insects found at the time of this inspection.

**Notice to Client:** There is always a possibility of the presence of undetectable activity of wood destroying insects. **THIS IS NOT A STRUCTURAL DAMAGE REPORT OR A WARRANTY AS TO THE ABSENCE OF WOOD DESTROYING INSECTS.** If visible evidence of active or previous infestation of listed wood destroying insects is reported, it should be assumed that some degree of damage is present, whether visible or non-visible.

## Statement of Purchaser

I have received the original or a legible copy of this form. I have read and understand any recommendations made. I have also read and understand the "Scope of Inspection." I understand that my inspector may provide additional information as an addendum to this report.

If additional information is attached, list number of pages: TREC Property Inspection Report & Termite Inspection Agreement

Signature of Purchaser of Property or their Designee \_\_\_\_\_

Date \_\_\_\_\_

☒ Customer or Designee not Present **Buyers Initials** \_\_\_\_\_